



SITE BOUNDARY
49.95ha

**LAND WEST OF LONDON COLNEY
BROAD LOCATION**

Site location

PROJECT NO	DRAWING NO	REV
5241	500	
DRAWN	DATE	SCALE
HNA	OCTOBER 2018	1:10000

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 SITE BOUNDARY
49.95ha

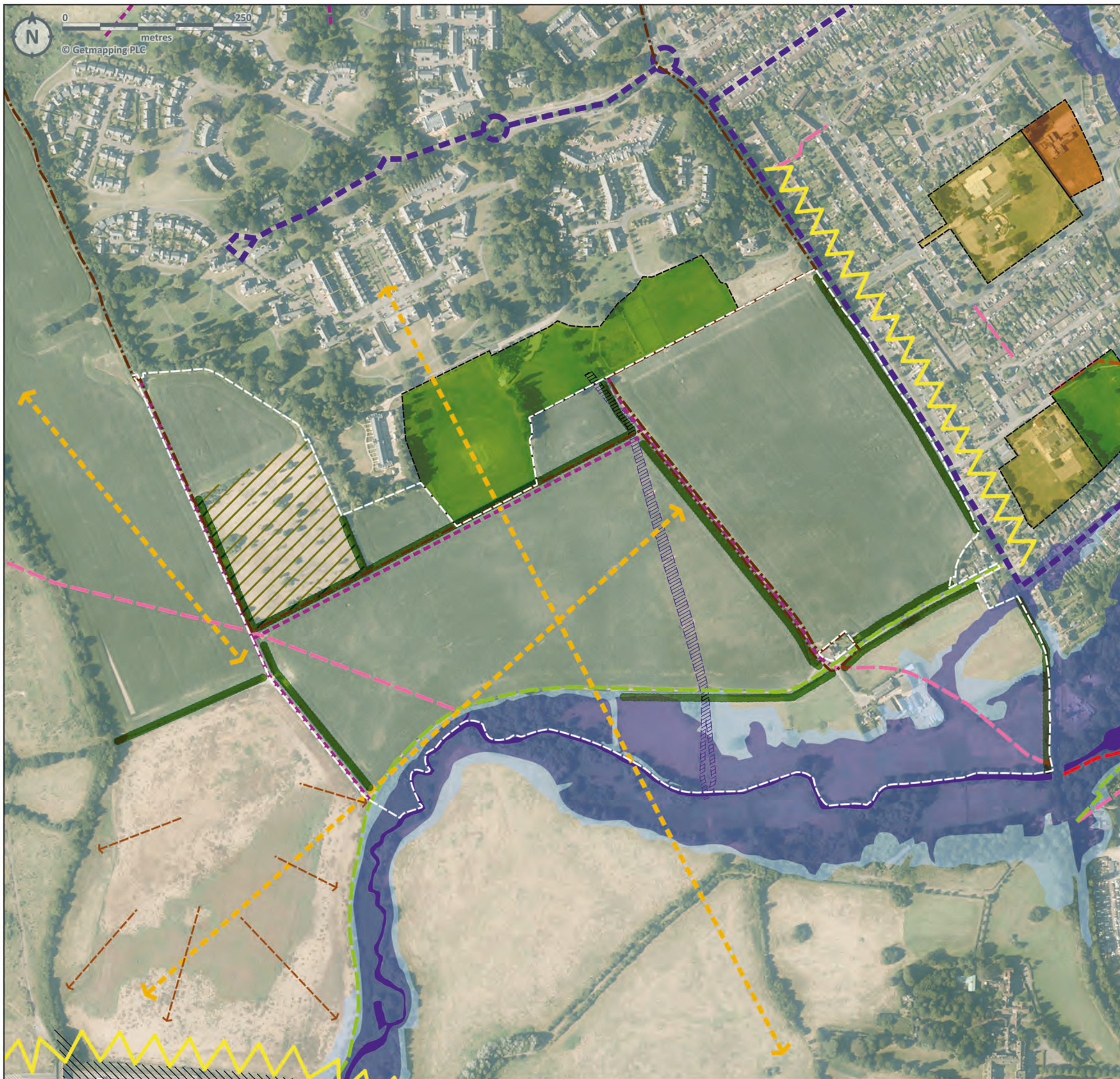
LAND WEST OF LONDON COLNEY BROAD LOCATION












Site identification

PROJECT NO	DRAWING NO	REV
5241	501	
DRAWN	DATE	SCALE
HNA	OCTOBER 2018	1:5000

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-  SITE BOUNDARY
49.95ha
-  SIGNIFICANT HEDGEROWS
-  NEWLY PLANTED NATIVE WOODLAND
-  COMMUNITY BUILDINGS
-  OPEN SPACE
-  EDUCATIONAL FACILITIES
-  HISTORIC PARK & GARDEN
-  BUND AREAS
-  FLOOD ZONE 3
-  FLOOD ZONE 2
-  EASEMENT
-  NOISE SOURCES
-  VISIBILITY LINES
-  SLOPE
-  RESTRICTED BYWAY
-  BRIDLEWAY
-  PUBLIC FOOTPATH
-  INFORMAL PATH
-  BUS ROUTES

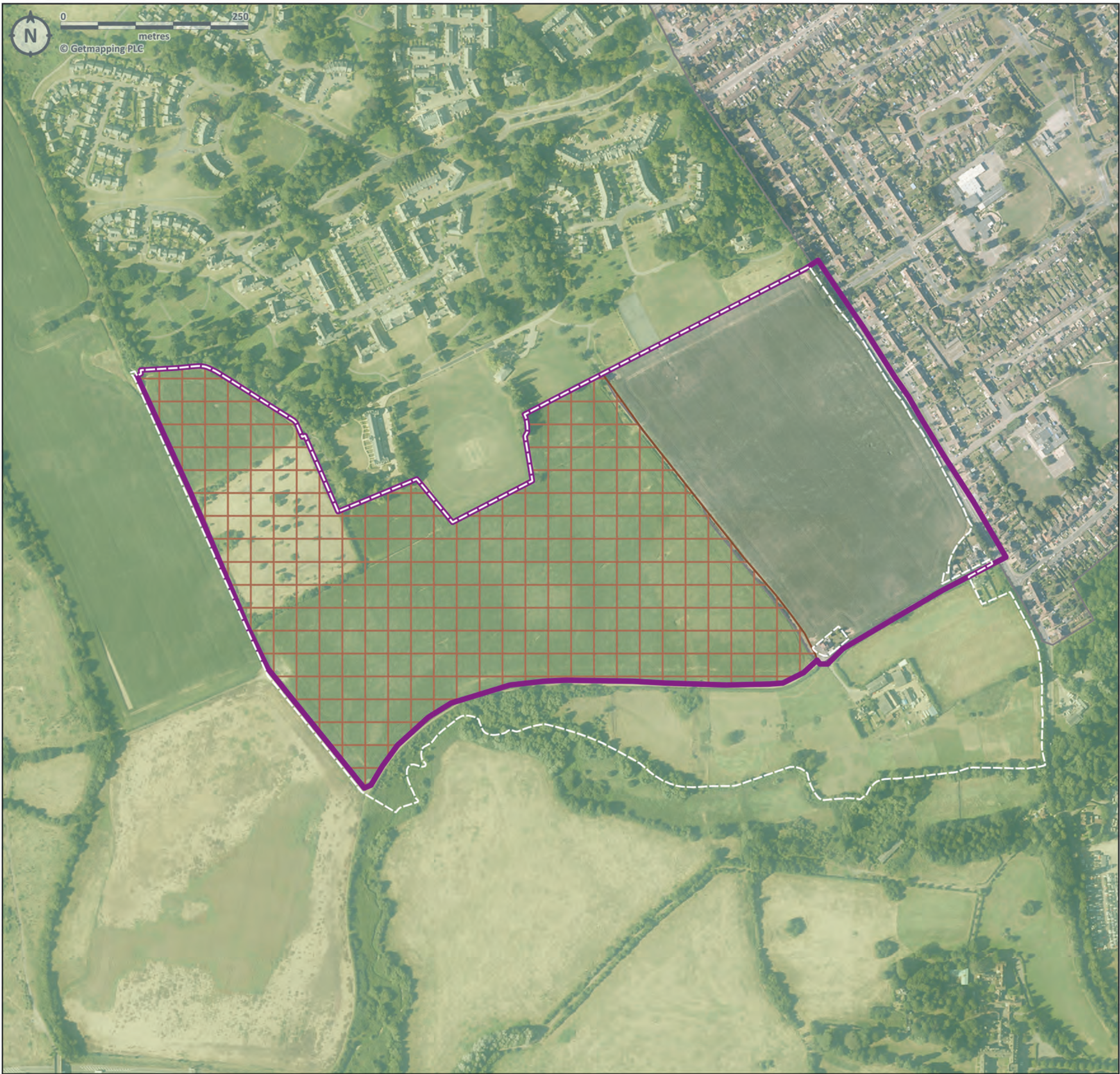
LAND WEST OF LONDON COLNEY BROAD LOCATION





Site constraints

PROJECT NO	DRAWING NO	REV
5241	502	
DRAWN	DATE	SCALE
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-  SITE BOUNDARY
49.95ha
-  METROPOLITAN GREEN BELT
POLICY S3
-  BROAD LOCATIONS FOR DEVELOPMENT
POLICY S6
-  EDUCATION (IN THE GREEN BELT)
POLICY L21

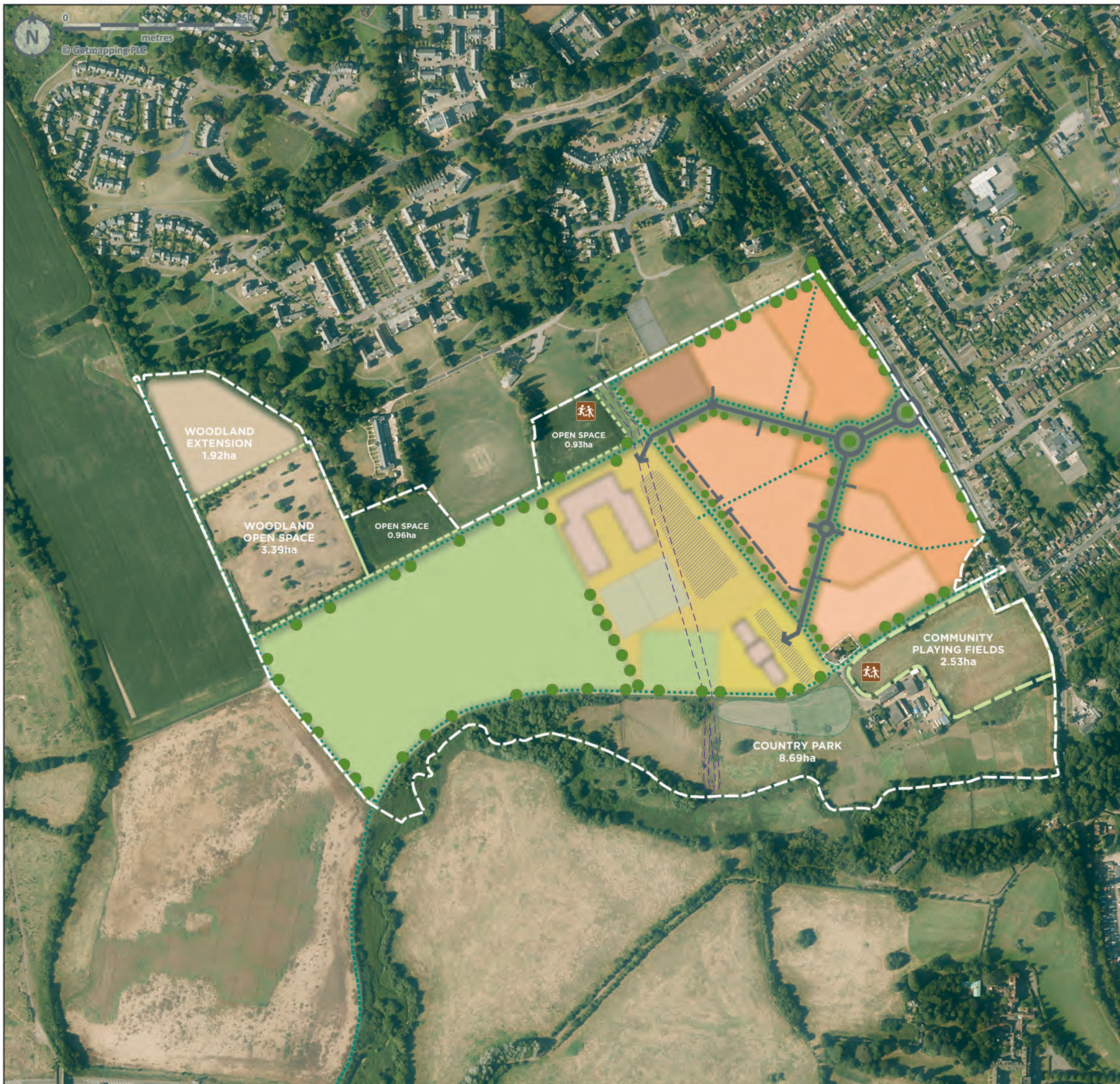
**LAND WEST OF LONDON COLNEY
BROAD LOCATION**

Local Plan Policies
St Albans City & District Local Plan 2018

PROJECT NO	DRAWING NO	REV
5241	503	
DRAWN	DATE	SCALE
HNA	OCTOBER 2018	1:5000

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-  SITE BOUNDARY
49.95ha
-  RESIDENTIAL
(HIGH DENSITY: 50dph = 175 DWELLINGS)
-  RESIDENTIAL
(MEDIUM DENSITY: 40dph = 193 DWELLINGS)
-  RESIDENTIAL
(LOW DENSITY: 30dph = 32 DWELLINGS)
-  EXTRA CARE HOUSING
(50 DWELLINGS 0.64ha)
-  SECONDARY SCHOOL BUILDING ZONE
(4.65ha)
-  SCHOOL PLAYING FIELDS
(SECONDARY SCH: 9.18ha PRIMARY SCH: 0.78ha)
-  PRIMARY SCHOOL BUILDING ZONE
(1.30ha)
-  SCHOOL BUILDING LOCATIONS
-  SCHOOL PARKING AREAS
-  ALL WEATHER PITCHES
-  ACCESS ROADS
-  FOOTPATH/CYCLEWAYS
-  EASEMENT
-  CHILDREN'S PLAY AREAS
-  SURFACE WATER ATTENUATION
(0.76ha)

REVISION A:
Care home and special needs housing site combined to extra care housing
HNA/11-10-2018

LAND WEST OF LONDON COLNEY BROAD LOCATION

Preliminary masterplan

PROJECT NO	DRAWING NO	REV
5241	504	A
DRAWN	DATE	SCALE
HNA	OCTOBER 2018	1:5000

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Ruth Gray, Associate Director
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**HERTFORDSHIRE COUNTY COUNCIL
PROPERTY (PROPERTY PLANNING TEAM)**

ST ALBANS CITY AND DISTRICT COUNCIL

SUBMISSION TO CALL FOR SITES CONSULTATION

**ON BEHALF AS HERTFORDSHIRE COUNTY COUNCIL AS
LANDOWNER**

March 2021

1.0 Introduction

1.1 This document is submitted by Hertfordshire County Council (HCC) Property (Property Planning Team) in response to the St Albans City and District Council Call for Sites consultation.

2.0 Identified Sites in HCC Ownership

2.1 A total of 10 sites in the ownership of the County Council have been identified for submission to the District Council's Call for Sites. These are:

- Rural Estate land south of Napsbury (Land West of London Colney)
- Rural Estate land north of Napsbury
- Land East of Kay Walk, St Albans
- Land at Stephens Way and Flamsteadbury Lane Redbourn
- Rural Estate land at Waterdell, adj to Mount Pleasant JMI
- Rural estate land at Highfield Farm, Tyttenhanger
- Carpenter's Nursery, Sandridge
- Former Radlett Aerodrome, Radlett
- Smallford Farm and Smallford Pit, Smallford
- Former Ariston Works, Harpenden Road, St Albans

2.2 The forms previously submitted in September 2017 have been updated with an additional form included for the former Ariston Site.

2.0 Conclusion

3.1 HCC Property welcomes the opportunity to participate in the Call for Sites consultation. Further information can be provided on any of the submitted sites by contacting the Property Planning Team.

Rural Estate Land North of Napsbury

Site address: Please provide a brief description e.g. land to the south west of (settlement), between the A500 and railway.

Rural Estate land north of Napsbury

Ownership details: Please indicate whether freehold or leasehold and length of lease (it is possible that a site may be in multiple ownership).

Freehold

Area of site (hectares)

26.31ha

Current use(s)

Agricultural - Arable

Are there any factors that could make the site unavailable for development? (Please provide any details in the boxes labelled a to d below)

a. Ownership Constraints (e.g. multiple ownerships, ransom strips, tenancies, operational requirements)

This site is part of the HCC Rural Estate and is currently leased to tenants.

b. Awaiting relocation of current use

n/a

c. Level of developer interest (i.e. low, medium, high)

n/a

d. Likely timeframe for development (i.e. completion). Please indicate if you anticipate that development may be split over different time periods.

Likely timescale for delivery of suggested development / land use

5+ years

Are you aware of any particular constraints that might make the site unsuitable for development? (Please provide any details in the boxes labelled a to d below)

a. Environmental Constraints e.g. floodplain, Sites of Special Scientific Interest (SSSIs) or Local Nature Reserve, sites of geological importance.

n/a

b. Other Designations e.g. Conservation Area, Listed Buildings, Archaeological Sites.

Part of the site lies within an Historic Parks designation.
Close proximity to a Conservation Area.

c. Physical Constraints e.g. poor access, steep slopes, uneven terrain, ground contamination, Tree Preservation Orders

N/A

d. Policy Constraints e.g. Green Belt, Landscape Character Area, high quality agricultural land, designated employment area, public or private green space, site with social or community value.

Green Belt, Landscape Development Area

If any constraints have been identified above, do you think that they could be overcome? If so, how?

The constraints identified above could be mitigated through good design and layout of development.

What is the estimated number of dwellings that could be provided on the site?

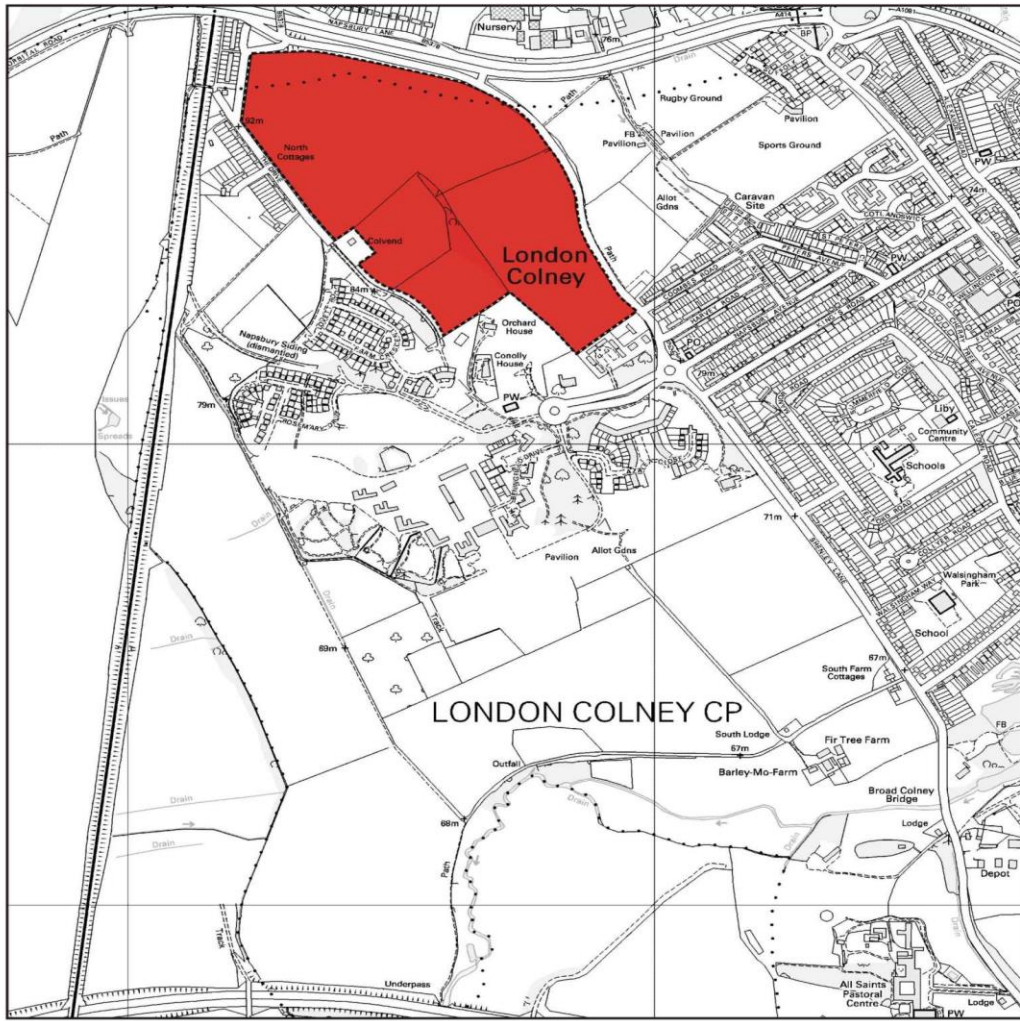
Previous feasibility work has identified that this site could accommodate 149 dwellings and possibly a 2 form entry primary school.

Sketch scheme (submitted for information if necessary)

Yes/ No

**Is there any other information that you would like to provide in relation to your proposed site?
If yes, please give details below (and attach if necessary)**

Detailed information has previously been submitted to SADC regarding this site. Further copies can be provided on request.



PROJECT TITLE
**Napsbury Rural Estate
NAPSURY**

DRAWING TITLE
Site location plan

SCALE	DATE	CHECKED
1:10000	AUGUST 2007	
PROJECT No.	DRAWN	DATE
4695	HP	
VINCENT AND GORBING		040
CHARTERED ARCHITECTS AND TOWN PLANNERS		
STERLING COURT NORTON ROAD STEVENAGE HERTS TELEPHONE: 01438 316331 FAX:01438 722035		