

APPENDIX 5
TREE WORKS SCHEDULE

NOTE: All tree works to be undertaken in accordance with BS 3998:2010 'Treework - Recommendations'. All pruning cuts to be made at suitable growing points, in line with the principles of natural target pruning.

Trees To Be Pruned

Tree No.	Species	Proposed Tree Works	BS Cat
T1	Oak	Remove major dead wood.	B1
T2	Oak	Reduce Overhanging Crown by 25% Total Volume. Remove major dead wood.	B1
T3	Oak	Remove major dead wood.	B1
T5	Oak	Formative prune damaged leader stem.	B1

Trees To Be Removed

Tree No.	Species	Proposed Tree Works	BS Cat
H1	Mixed species Hazel / Holly	To remove two short sections of hedgerow (approx. 5m) to allow access into the site.	C2

APPENDIX 6

SITE INSPECTION & MONITORING SCHEDULE

In order to ensure that the principals of tree protection set out in the statement are adhered to, it is important to set out communication details for key individuals and tasks that require supervision. These details should be retained by all relevant parties and available on site at all times. Relevant parties will be advised of any changes in personnel or contractor during the development process.

To ensure that the construction process is undertaken with minimal disturbance to the retained tree stock, we recommend that an experienced arboricultural consultant is appointed to undertake regular inspections of the site according to the site inspection / supervision schedule below.

It is our experience that a mix of scheduled and unannounced site visits is appropriate. These unannounced inspections will serve to identify any damage to the Tree Protection Fencing, poor working practices, potential problems and points of conflict between the construction process and the health of the trees. These reports will include recommendations for remedial action.

During these visits, any changes to the proposed works will be discussed, their impact assessed and recommendations for best practice will be outlined. After each of these visits, a copy of the report should be sent to the Site Agent, Local Authority Tree Officer and Client. The remedial action undertaken will be recorded on the next visit.

It should be noted that these visits will only be undertaken if a written instruction is received from the client prior to the commencement of works on site.

With reference to relevant published guidance, the methodology of this statement follows a logical sequence essential to the efficacy of the protection measures. References may include: British Standard 5837:2012 'Trees in relation to design, demolition and construction - Recommendations'; British Standard 3998:2010 'Tree Work - Recommendations' and National Joint Utilities Group 'Guidelines for the planning, installation and maintenance of utility apparatus in proximity to trees, Volume 4' 2007.

It is essential to the successful implementation of the principals set out in this document that effective supervision and enforcement are implemented from the outset, as detailed in the following construction phases.

Constraints Item	Site Supervision required	Number of Visits	Timing of Site Visits	Actual Visit Date
Tree works operations	Optional	Visit 1	Prior to construction	
Pre-commencement meeting between relevant parties informing Council of development start date	Yes	Visit 2	Prior to site clearance	
Establishment & protection of Root Protection Areas (RPA) for retained trees to 'sign off' installed tree protection fencing and temporary ground protection	Yes	Visit 2	Prior to site clearance	
Protection and prevention of damage to retained tree canopies during construction	Yes	Visit 3	During construction phase	
Installation of 'Reduced / No-dig' special surfacing within / through retained tree RPAs	Yes	Visit 3	During construction phase	
Excavation of services trenches in close proximity to retained trees	Possible	Visit 4	During construction phase	
Generic construction site constraints: 1 Site office / Welfare unit location 2 Temporary toilets 3 Siting of bonfires 4 Location of contaminant storage and washout areas 5 Location of stripped topsoil	Yes	Visit 3	During construction phase	
Post construction site assessment for any required remedial tree works operations recommendations.	Yes	Visit 5	Post construction	

APPENDIX 7

BS5837: 2012 TREE CONSTRAINTS & PROTECTION METHODS

Pre-Construction / Tool-Box Talk Meeting

Prior to commencement of the works, an onsite meeting will be held with all relevant parties, including the site agent and appointed Landscape Planning Ltd arboricultural consultant of works. The purpose of this meeting is to record site features such as tree condition, agree tree works (see Tree Works Schedule), location of site storage and welfare facilities and the location of tree protection measures.

Installation of Tree Protection Measures

Subject to planning, the Tree Protection Measures outlined in this report will be revisited in detail based on the working drawings, construction programme and method statement to be prepared.

Tree protection fencing should be installed prior to any demolition or ground-works commencing, should remain in place throughout construction and should be removed only after completion.

The provision of tree protection and light tree surgery will reduce the risk of direct damage to the retained trees. The demolition and construction process should not be commenced until the tree surgery works have been completed and the protective areas have been fenced off.

Tree protection will be installed as per the Tree Protection Plan, which will be agreed with the Local Authority Tree Officer, and with reference to the British Standard 5837:2012 'Trees in relation to design, demolition and construction – Recommendations'. Prior to commencing any demolition or construction works, the fencing will be inspected by the appointed arboricultural consultant from Landscape Planning Ltd.

Within the fenced zone, no materials or chemicals should be stored at any time, no fires should be lit, no pedestrian or vehicle traffic should be allowed, and level changes within these areas should be kept to an absolute minimum. Every effort should be taken to protect a maximum possible area of the root system.

Within the Root Protection Area, no level changes or excavation should be undertaken without the consent of the LPA Tree Officer.

Clear notices are to be fixed to the outside of the fencing, with words such as 'TREE PROTECTION AREA – NO ACCESS OR WORKING WITHIN THIS AREA'.

The site agent, all contractors and other relevant personnel are to be informed of the role of the Tree Protection Fencing and its importance. A copy of the Tree Protection Plan will be displayed on site at all times during construction.

Demolition and Enabling Works

Prior to any works commencing on site, the Tree Protection Fencing will be erected. During the demolition programme and enabling works, the existing front access will be in use. Any plant or vehicles engaged in the demolition works will operate outside the fenced off No-Dig / Root Protection Areas.

Locations of Site Offices Compound and Storage Area

The site office, welfare facilities, storage yard and contractors' parking area need to be located within an area of the site that is outside the Root Protection Area (RPA). The compound will remain at least 1 metre outside the RPA, with access from the main access road.

All fuel storage and loose cement / sand to be batched and stored in the compound area.

Groundworks, Level Changes, Foundations and Services

All spoil, including excavated soil and demolition material, will be removed from site or stored in a location remote from any tree protection barriers.

With regard to the drawings provided, the construction of foundations for the new build is located beyond the Root Protection Area (RPA) of retained trees; therefore, with regard to the health of the retained trees, no specialised foundation design is required. If the subsoil is found to be plastic, the foundations will be specified to take into account the potential influence of the vegetation on the moisture content and volume of the subsoil.

We recommend that all drainage and underground service routes are located beyond the RPA of all the retained trees. If the service runs are to be located within the RPA, we recommend that this matter is dealt with by method statement secured by planning condition. If services are located within the RPA, special implementation techniques such as moling, airspade or hand digging may be required by the LPA. In the majority of cases, however, careful excavation with a low tonnage mechanical excavator supervised by the consultant arboriculturist from Landscape Planning Ltd can adequately undertake services excavations.

When tree roots are encountered, hand digging and root protection can then be undertaken as and when they are observed.

Dismantling Protection Barriers & Post Construction Site 'Sign Off'

Dismantling the protection barriers around retained trees may be required to allow completion of final surface treatments and landscaping. Supervision of this exercise and control of the landscaping thereafter will be administered by the appointed arboricultural consultant from Landscape Planning Ltd. The removal of the Tree Protection Fencing is not an opportunity for machinery to access the previously fenced off area.

No further excavation will be carried out during this process and soils levels will not be raised above that existing by greater than 100mm and not within 2m of the trunk. Any removal of existing structures within the Root Protection Area, including gardens type walls or paths, will be carried out by hand.

APPENDIX 8

TREE AND GROUND PROTECTION SPECIFICATION

on retained hard surfacing or it is otherwise unfeasible to use ground pins, e.g. due to the presence of underground services, the stabilizer struts should be mounted on a block tray (Figure 3b).

NOTE 1 Examples of configurations for steel mesh perimeter fencing systems are given in BS 1722-18.

NOTE 2 It might be feasible on some sites to use temporary site office buildings as components of the tree protection barriers, provided these can be installed and removed without damaging the retained trees or their rooting environment.

6.2.2.4 All-weather notices should be attached to the barrier with words such as:

"CONSTRUCTION EXCLUSION ZONE – NO ACCESS".

Figure 2 Default specification for protective barrier

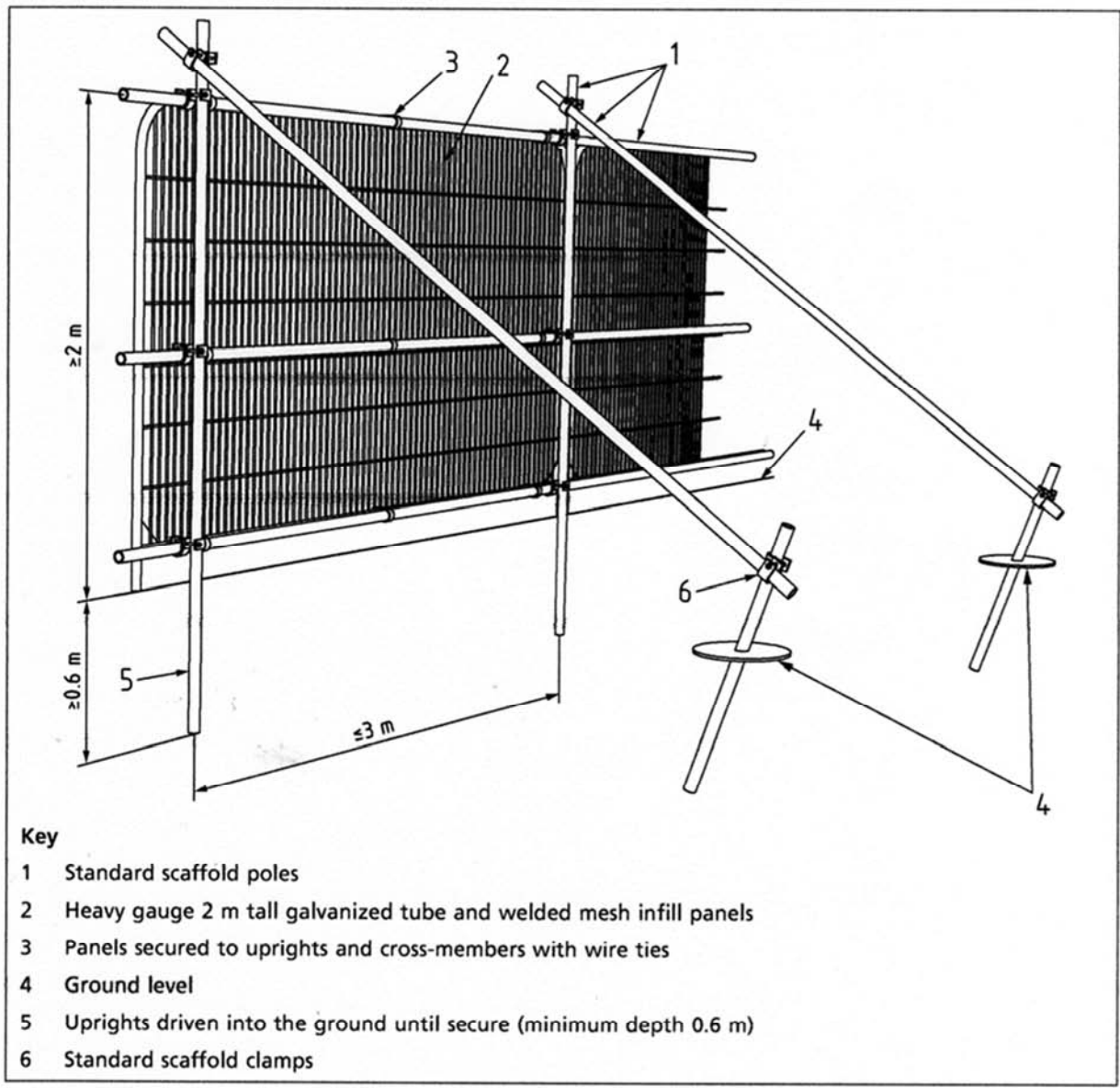
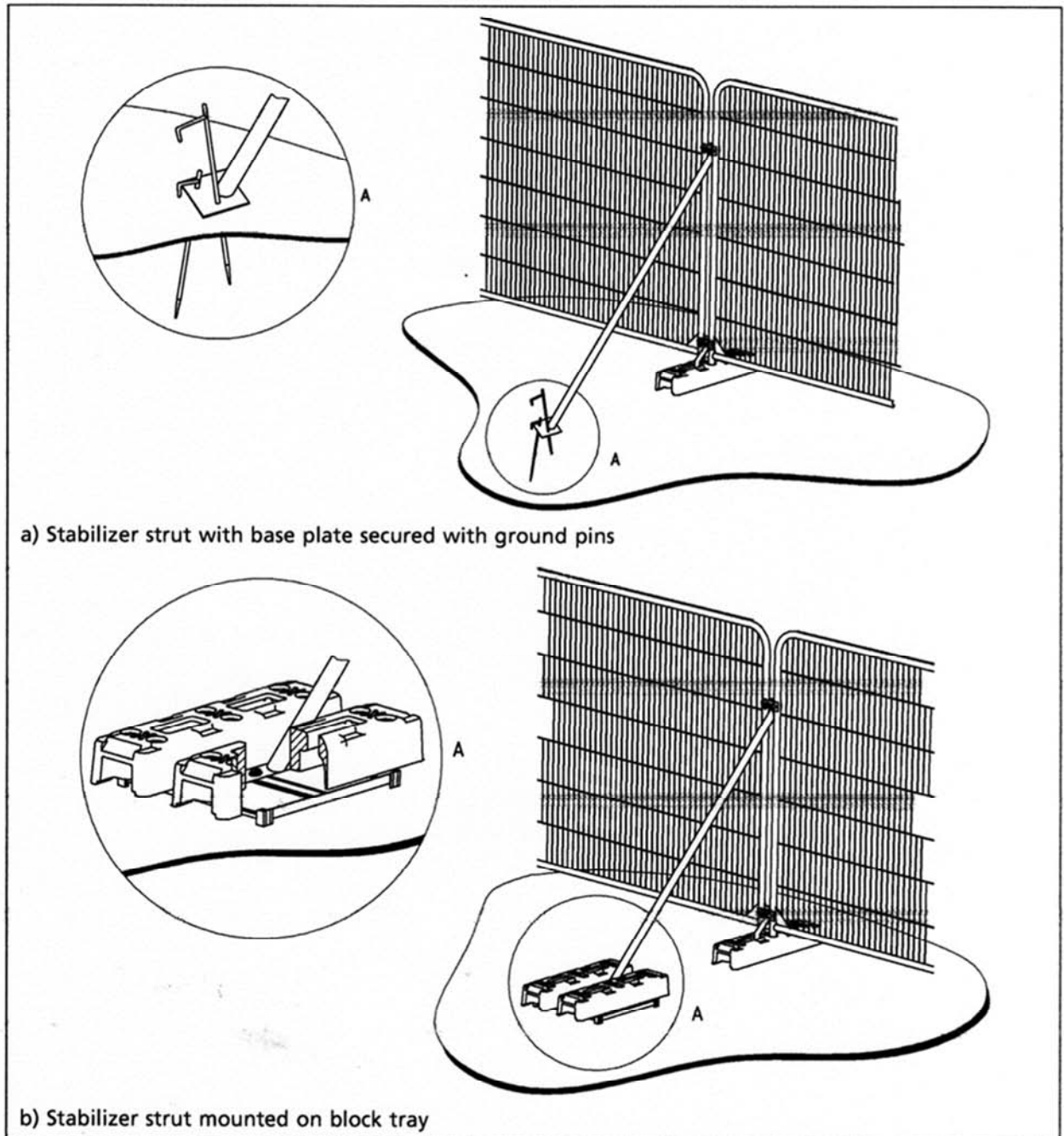


Figure 3 Examples of above-ground stabilizing systems



a) Stabilizer strut with base plate secured with ground pins

b) Stabilizer strut mounted on block tray

6.2.3 Ground protection during demolition and construction

6.2.3.1 Where construction working space or temporary construction access is justified within the RPA, this should be facilitated by a set-back in the alignment of the tree protection barrier. In such areas, suitable existing hard surfacing that is not proposed for re-use as part of the finished design should be retained to act as temporary ground protection during construction, rather than being removed during demolition. The suitability of such surfacing for this purpose should be evaluated by the project arboriculturist and an engineer as appropriate.

SUGGESTED TREE PROTECTION SIGN



**TREE PROTECTION AREA
KEEP OUT**

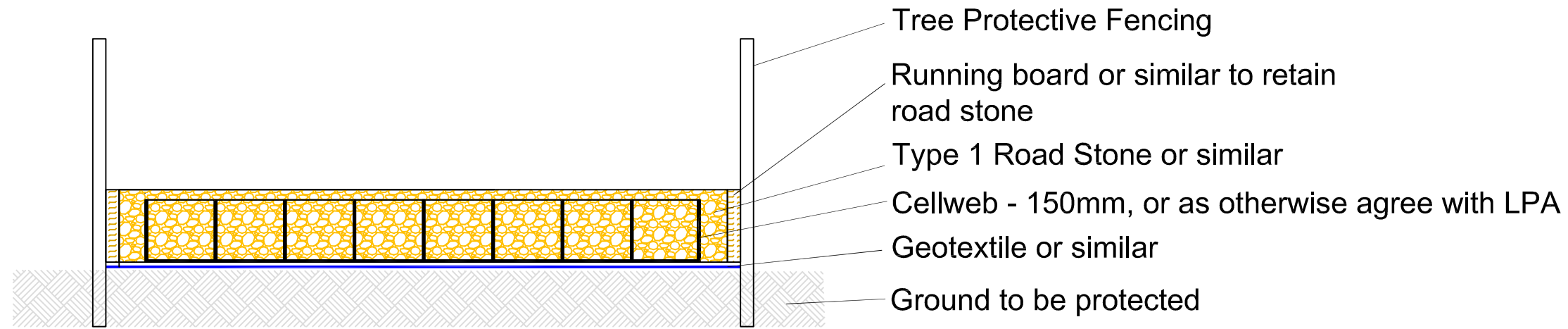
(TOWN & COUNTRY PLANNING ACT 1990)

**THE VEGETATION PROTECTED BY THIS FENCE IS
PROTECTED BY PLANNING CONDITIONS AND/OR IS
THE SUBJECT OF A TREE PRESERVATION ORDER.**

**IF YOU REQUIRE ACCESS INTO THIS AREA PLEASE
CONTACT**

T:

Ground protection for vehicular traffic within
Root Protection Areas of Trees to be retained



- Tree Protective Fencing
- Running board or similar to retain road stone
- Type 1 Road Stone or similar
- Cellweb - 150mm, or as otherwise agree with LPA
- Geotextile or similar
- Ground to be protected

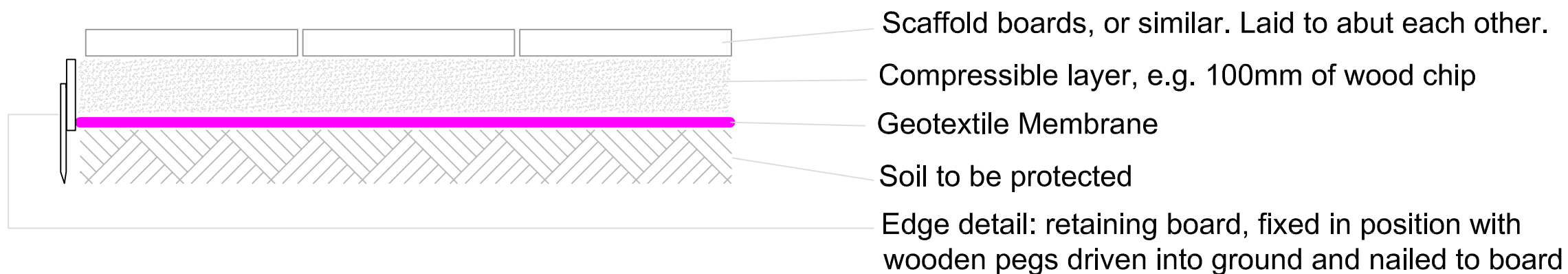
Notes
Plan to be read in conjunction with the engineers and landscape drawings:

No measurements to be scaled off drawing. Worked from figured dimensions only.

All dimensions shown on drawing are shown in millimetres unless otherwise stated.

All dimensions and levels to be checked on site. Landscape Architect to be notified immediately of any discrepancies prior to the commencement of works.

Ground protection for pedestrian traffic and
beneath scaffolding within Root Protection Areas
of Trees to be retained,



- Scaffold boards, or similar. Laid to abut each other.
- Compressible layer, e.g. 100mm of wood chip
- Geotextile Membrane
- Soil to be protected
- Edge detail: retaining board, fixed in position with wooden pegs driven into ground and nailed to board

REVISIONS

No	Description	By	Date	Chkd



ISSUE:
-

CLIENT:
Generic LPL Detail

LOCATION:
Generic LPL Detail

DRAWING TITLE:
Indicative Designs for Ground Protection within the Root Protection Areas (RPAs) of trees to be retained

SCALE: N/A DATE: January 2014

DRAWN BY: OK CHKD BY: OK DRAWING No: L107.2 REV: -

APPENDIX 9

PROPRIETARY INFORMATION FOR 'REDUCED-DIG' SUB-BASE

ProtectaWeb Method Statement

For the installation of ProtectaWeb Tree Root Protection System

Introduction

The Wrekin Tree Root Protection System is available in 4 different depths for varied traffic loadings, each site should have a specific design detailed to ensure the correct depth of product is used.

However, unless the existing ground conditions contain very weak soils and have a low CBR the the following can apply:

- Footpath System- Geogrid and Geotextile combination with Asphalt/Resin- for Pedestrians and Cycleways, no vehicular traffic.
- 75mm- For Pedestrians Cycleways and Vehicles up to 1.5tons
- 100mm- For Cars, 4 wheel drives, vans etc up to 6tons
- 150mm- For Fire engines, removal vehicles and dust carts up to 20-30tons
- 200mm- For Construction vehicles, cranes etc 40tons and all above.

No dig System

Material List:

- ProtectaWeb 3 Dimensional Cellular Confinement System
- Root-Tex 30 minimum separation and protection fleece
- Root-Tex 10 minimum separation geotextile
- Steel 700mm staking pins
- Stapler and Staples/heavy cable ties
- 4/20mm or 40/20mm Clean Angular Stone to Bs EN 13242 and 12620
- Finish porous surfacing materials are preferable

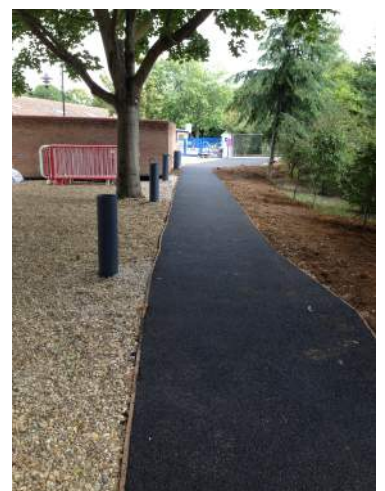
Stage 1-Ground Preparation

- Remove surface vegetation to treat with suitable herbicide to level-under the supervision of the project Arboriculturist.
- Fill any hollows that may be in the exposed ground with no fines 4/20mm clean angular stone.
- Place Root-Tex 30 Geotextile over the area to be protected ensuring laps with a minimum of 300mm.
- Mark out the area to be protected with edging detail. For Example: Timber boards.

Stage 2-Installation of ProtectaWeb TRP

- Roll out Root-Tex 30 Geotextile to cover the area to be protected.
- Insert 4 equally spaced steel pins along the the width of the panel.
- Expand the panel over the Root-Tex 30 and the pins, extend to the required length, then pin across the opposite panel end.
- Pin along the length of the panel each side.
- If full panels are not being used then ensure the cells have been expanded to their full dimension.
- Staple or cable tie any adjacent panels together.

The ProtectaWeb panels can be cut to shape if required with a heavy duty Stanley Knife.



1. Wrekin Products Ltd is continually seeking to improve our products and therefore reserves the right to alter product specifications without prior notice.
2. It is the responsibility of all users to satisfy themselves that the above data is current.
3. Wrekin cannot be held responsible for the performance of these products as conditions of use are beyond our control.

Stage 3-Filling the ProtectaWeb

Using 4/20mm or 40/20mm clean angular stone to Bs EN 13242 and 12620 (depending on the cell depth being used)

- Fill the cells of the ProtectaWeb with a 4/20mm or 40/20mm clean angular stone.
- Allow 25mm overfill for any settlement of the stone into the cells.
- If the area is to be trafficked immediately, slightly increase the amount of surcharge overfill to a maximum of 50mm over the ProtectaWeb with 4/20mm or 40/20mm clean angular stone.

Stage 4-Finish Surfacing Details

The ProtectaWeb TRP system can be surfaced with the materials listed below:

Finish 1- Block Paving

- Place Root-Tex 10 separation fabric over the filled ProtectaWeb
- Lay sand/gravel bedding material as per to manufacturers recommendations
- Place porous/standard blocks as per manufacturers instructions

Finish 2-Porous and standard Asphalt

- Slightly surcharge the ProtectaWeb with 25mm of 4/20mm or 40/20mm clean angular stone
- Place hot Asphalt as per to manufacturers instructions

Finish 3- Resin Bound Gravels

- Place Root-Tex 20 separation fabric over the filled ProtectaWeb
- Lay Asphalt carpet and resin bound gravel to the required thickness and as per the manufacturers instructions

Finish 4-Loose Gravel

- Option 1- Slightly overfill the ProtectaWeb with the clean angular stone
- Option 2- Place a 25mm thick decorative stone on top of the filled ProtectaWeb

Finish 5- CellTrack Gravel Retention System

- Place Root-Tex 10 separation geotextile over the filled ProtectaWeb
- 20mm bedding layer of 5mm single sized stone and lightly tamp
- Lay CellTrack porous pavers and fill with a 6-10mm decorative stone

Finish 6- CellTrack Grass Protection System

- Place Root-Tex 10 separation geotextile over the filled ProtectaWeb
- 70mm of Rootzone bedding layer (60% sand/40% soil) and lightly tamp
- Lay CellTrack porous pavers and fill with Rootzone mix, seed accordingly (please allow 4-6 weeks for the seed to germinate before trafficking)

NEW Finish 7- Trial-Flex

- Place Root-Tex 10 separation geotextile over the area for pedestrian protection.
- Roll over Egrid on top of the Geotextile (strength based per application)
- Cover to a depth of 50mm of TrialFlex porous flexible resin bound finish.

Finish 8- Concrete

- Place Root-Tex 10 separation Geotextile over the filled ProtectaWeb
- Cast the concrete slab over the Geotextile



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APPENDIX 10
PHOTOGRAPHS



T1, Oak on western boundary.



T2, Oak on western boundary.



H1 on right alongside Townsend Lane.



View of Corsican Pines on eastern boundary.



T6 & T7, Oaks (outside of site).



T11, Corsican Pine and H3 on northern boundary.

APPENDIX 11
REPORT CAVEATS

General - Trees

Unless otherwise stated tree observations have been undertaken from ground level and using non-invasive techniques only. Comments contained within the report on the condition and risk associated with any tree relate to the condition of the tree at the date and time of survey. Please note that the condition of trees is subject to change. This change may occur, but is not limited to biological and non-biological factors as well as mechanical/ physical changes to conditions in the proximity of the tree. Trees should be inspected at intervals relative to identified site risks and in accordance with relevant HSE and Central Government guidance. Landscape Planning Group Ltd can provide further information on this matter if required.

Unless otherwise specified, no checks have been carried out in respect of statutory controls that may apply, e.g. Tree Preservation Orders, Conservation Areas or planning conditions. In addition, prior to undertaking any tree works, it is necessary to ensure due diligence is followed in respect of protected species and habitats.

Where tree surgery works have been identified these works are based on the assumption that planning is approved, no tree works should be undertaken prior to determination of this application without up to date confirmation of the Tree Preservation Order / Conservation Area Status of the vegetation. All works should be undertaken in accordance with the appropriate Duty of Care. This should include, for example, site specific risk assessments and due diligence inspections for the presence of protected species.

Any comment relating to 3rd party trees has been made without full access to the tree(s). Should these trees have any impact on the proposed development we would advise you to instruct us to contact the 3rd party and undertake further inspection work.

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Not a Design Statement or Method Statement

This report has been prepared in respect of development impacts on trees. The report provides details and makes in principle recommendations relating to tree protection, which may have implications for design, construction, materials and methods to be employed in the development. Any such recommendations should be approved by the relevant designer / competent person.



LANDSCAPE PLANNING LTD

**Landscape Planning Limited
4 The Courtyards
Phoenix Square
Wyncolls Road
Colchester
Essex CO4 9PE**

www.landscapeplanning.co.uk

The Avenue, Saffron Walden

After an extensive selection process, Hill was selected to work with Friends' School to redevelop the Junior School and surrounding under-utilised land. A team was assembled and a construction programme was established to enable the school to continue to operate effectively with the minimum of disruption during the decant and development period.

The location comprises an area of approximately 2.23 hectares, characterised by its mature landscape including over 150 existing trees, many of which have preservation orders. The most notable of these is an avenue of limes extending north to south through the land, which provides public connectivity at the heart of the development.

Architecturally, the proposals set out to maximise the intrinsic qualities of the land, namely the retention of the avenue of trees, trees and hedgerows generally, the sloping topography and the opportunity for creating views, as well as being respectful and responsive to neighbours.

The development has delivered 76 new homes, ranging from one to five bedrooms, including 18 flats and cottages for the over-55s. The vision was to create a place which is both distinctive and integrated; a place of quality that is attractive, where people will choose to live. Each individual home was conceived in its relationship to its neighbours with each contributing to the setting of the other within intimate clusters.

The development won a Housing Design Project Award in July 2011, which recognises outstanding architecture and innovative building design, and in 2014 the project was voted Best Development at the WhatHouse? and the Housebuilder Awards. The development has won a number of awards, including:

- 2011 Housing Design Award (Winner)
- 2014 What House Awards – Best Development (Gold)
- 2014 What House Awards – Best External Design (Silver)
- 2014 Housebuilder Awards – Best Development three storeys or less (winner)
- 2015 Housing Design Graham Pye Award for Family Housing
- 2016 RIBA Regional Award
- 2016 RIBA National Award

The development features in the Government's Housing White Paper (page 30) as its design exemplar:

“The layout avoids the use of standard type plans and each home responds to its location, aspect and its relationship to its neighbours, creating individuality and variety. Building forms and the palette of materials draws from local traditional references without resorting to pastiche.”

Fixing our Broken Housing Market, DCLG, February 2017



Ninewells, Cambridge

Ninewells is a prestigious four phased development in Cambridge by Hill and their joint venture partner bpha. The completed project will provide 270 new homes, 162 for private sale, 74 retirement homes and 34 affordable homes.

The development is a new neighbourhood for Cambridge, forming part of the southern fringe development sites. Hill secured this opportunity on a conditional basis and spent money at risk to progress, and secure, the planning permission at this prestigious location.

The development comprises 162 contemporary, high-specification four and five bedroom family homes and one, two and three bedroom apartments. The homes will be delivered up to Code for Sustainable Homes level 4.

A soft countryside edge has been created by utilising interlocking fingers of landscape and building.

The arrangement of buildings has been carefully developed to create a number of significant open spaces and routes through and around the land. These spaces will operate on a variety of scales, from small private courtyards and terraces to squares and public open space, including allotments and wildlife corridors.

Incorporated into Phase 1A of the development was the construction of a new timber framed sales suite to serve the entire development. The sales and marketing suite is open daily, with an example show apartment built above it and three separate show homes all within one sales area.

The entire development is due for completion in late 2018 and the first phase is already an award winner – in 2016 it won the prestigious WhatHouse? Development of the Year and WhatHouse? Best House.

The WhatHouse? judges described the Ninewells scheme as:

“simply inspirational, with a feel of quality about it that simply cannot be faulted.”



Athena, Cambridge

Hill is now established as the University of Cambridge's partner of choice for private sale homes at their iconic North West Cambridge Development. Hill have now been selected on five development parcels, bringing the total number of Homes to be delivered by Hill at North West Cambridge to over 800.

North West Cambridge is the largest single capital development project undertaken by the University in its 800-year history and will comprise a mixed-use development on a 150-hectare site of University farmland to the north western fringe of Cambridge.

The development is to combine residential housing, academic and research facilities, local centre and public amenities, as well as site infrastructure and open green space. It is being designed to the highest quality and the University is committed to building a fully cohesive community.

In being selected, Hill demonstrated to the University how they will create new homes to meet the University's objectives of sustainable living and exemplary design. Residential dwellings will be built to the Code for Sustainable Homes Level 5 and non-residential buildings will be BREEAM Excellent. The land also makes use of water management, site wide energy and waste systems.

The University is developing all elements of the development other than the market housing parcels, where it seeks to partner with residential developers. Hill has been selected on all the market sale lots that have been brought to market.

These homes range from studio apartments to five bedroom detached family houses. Construction started in late 2016 with sales launched in October 2017.

With the project team of PTE, ABA, WSP, Robert Myers, Bailey Garner, and Aecom Hill are tasked with creating a fantastic first impression to North West Cambridge which will set the tone for the future phases of development.

Hill is now established as the University of Cambridge's partner of choice for private sale homes.



Foundry Field, Burnham Market

The development provides 33 homes in the of Burnham Market, within North Norfolk Coast Area of Outstanding Natural Beauty. There is a high concentration of listed buildings nearby and the site adjoins a conservation area development.

The layout of the design reflects the character of Burnham Market and makes a conscious effort to enhance and conserve the character and appearance of the conservation area. The homes have a bespoke design; every single home is different. The homes are a blend of contemporary elements with brick and flint facades. Looking to embrace Burnham's rural setting, historic character and local architecture, local materials and traditional architectural styles were carefully selected. The homes use Norfolk flint and brick which blend and reflect the features found on many of the older houses in the village.

The homes are set amongst generous green spaces and thoughtful landscaping. A strong building line and front garden landscaping treatment contributes towards clearly defining public from private boundaries. The front gardens include plentiful herbaceous planting, raised flint cobblestone paths and wooden posts. Willow fencing and brick and flint walls also feature in some gardens. Variation in surface materials defines public and private areas, whilst homes have been designed and orientated so that residents are to see streets and spaces from within their homes. Public open space in the centre of the development provides a focal point, whilst enhancing legibility by retaining views of the Church.

Through an extensive programme of community engagement, the issue of parked cars in Burnham Market was identified as a major problem. Parked cars on narrow roads were creating obstruction for the emergency services and local bus services leading to delays. To address this, the scheme includes a 186 space public car park on a patch of disused land off the high street. The design of the car park was landscape led and was based on a typical national trust style car park in order to fit in well with the landscape and townscape. The car park addressed the problems with parking and congestion experienced in the centre of the village. An enhanced pedestrian link from the car park to the village centre ensures a safe and interesting walkway for visitors and residents.

"It is marvellous. We are fully in favour and have worked closely with Fleur Hill. This is good news for the village and will resolve a massive problem. The parking is horrendous. Cars are left on junctions and double parked." - Rosalie Monbiot, Burnham Market Parish Councillor



- Have already been submitted to the Council for consideration via previous 'Call for Sites' and Strategic Housing Land Availability Assessment (SHLAA) processes (unless information is updated/changed).
- Already have planning permission for development, unless a new and different proposal is likely in the future; or
- Are situated outside St Albans City and District's administrative area.

If you wish to update information about a site previously submitted please complete the form below.

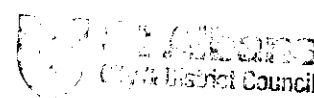
Please return the **form and site location plan** to the Spatial Planning and Design Team. We strongly encourage digital submissions via our online portal.

By online consultation portal:

<http://stalbans-consult.limehouse.co.uk/portal/>

By e-mail to: planning.policy@stalbans.gov.uk

By post to: St Albans Council Offices, St Peters Street, St Albans, Hertfordshire, AL1 3JE



19 APR 2021

Digital Services

Due to COVID-19; offices being shut and officers working from home; submissions by post are discouraged.

Your Details	
Name	
Company/Organisation	
Address	
Postcode	
Telephone	
Email	
Your interest	<input checked="" type="checkbox"/> Site Owner <input type="checkbox"/> Planning Consultant <input type="checkbox"/> Registered Social Landlord <input type="checkbox"/> Local Resident <input type="checkbox"/> Developer <input type="checkbox"/> Community <input type="checkbox"/> Other

0006
.732ha
1-81

0894
283ha
70

*East of by Mill
Butford Mill*



19 APR 2021

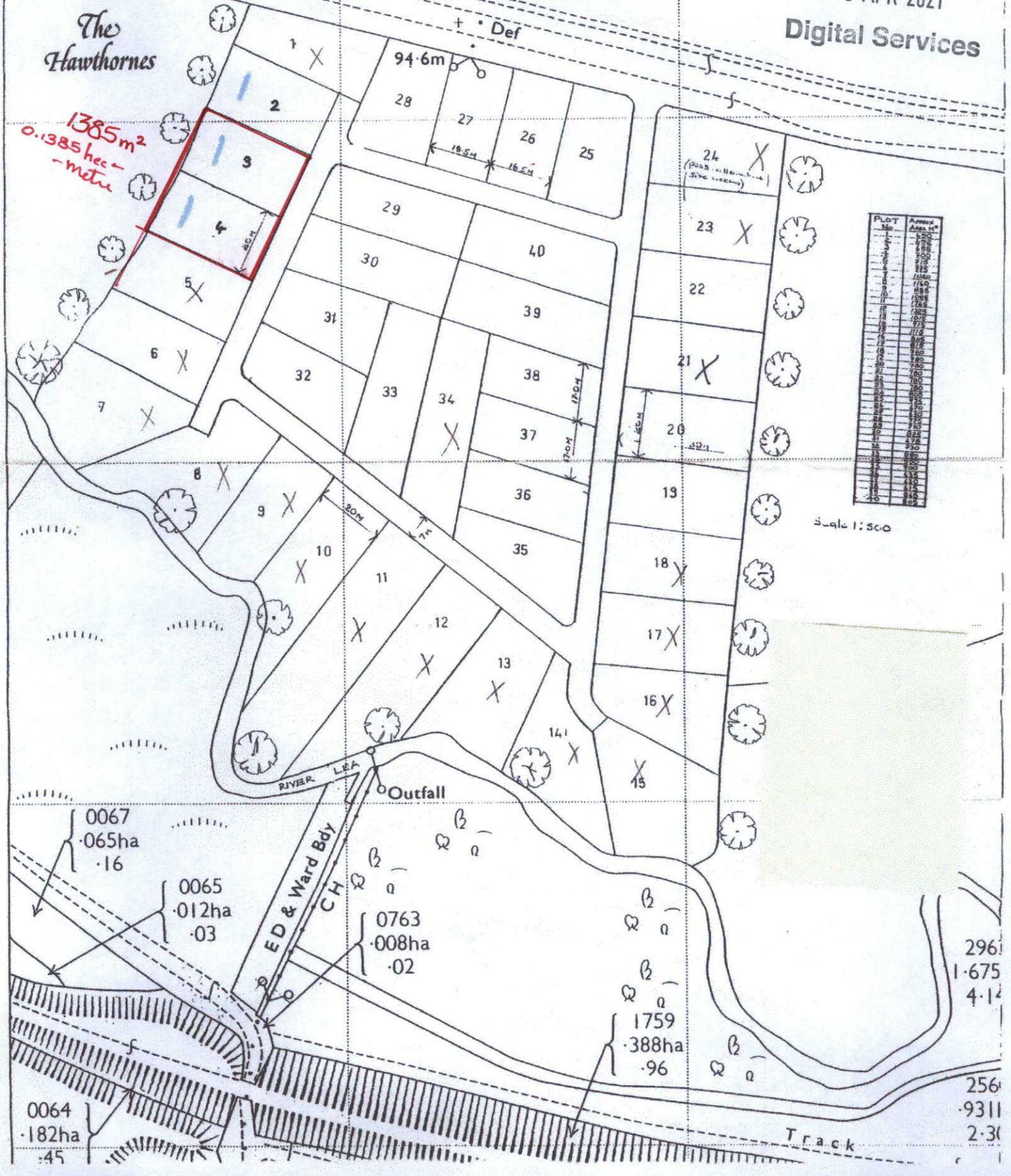
Digital Services

A 6129

Path (um)
RH
Boundary Post

The Hawthornes

*1385m²
0.1385hec
-metu*



Plot No	Area H ^a
1	1.20
2	1.88
3	2.00
4	2.12
5	2.15
6	2.16
7	2.16
8	2.16
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36	2.16
37	2.16
38	2.16
39	2.16
40	2.16

Scale 1:500

0067
.065ha
.16

0065
.012ha
.03

0763
.008ha
.02

1759
.388ha
.96

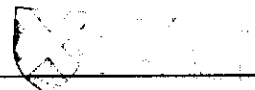
0064
.182ha
.45

296
1-675
4-12
256
.9311
2-30

ED & Ward Bdy
CH

Outfall

Track



19 APR 2021

Digital Services

Site Details

Requirements:

- Delivers 5 or more dwellings or;
- Provides economic development on sites of 0.25 hectares or more (or 500 square metres of floor space or more)

Site address/location
(Please provide a map showing the site boundary)

ENCLOSED

Site area (in hectares)

0.1385 hectare metres

Coordinates

Easting

Northing

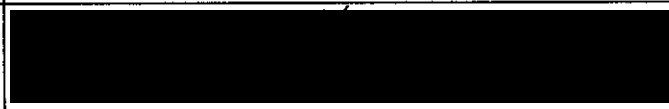
Site Location Plan Attached

- Yes
- No

GIS mapping shapefile attached (in .shp file format)

- Yes
- No

Landownership (please include contact details if known)



Current land use

none

Condition of current use (e.g. vacant, derelict)

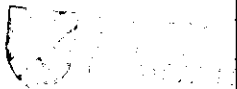
Vacant

Suggested land use

- Housing
- Gypsy & Travellers
- Mixed Use (please specify)
- Employment
- Renewable and low carbon energy and heat
- Biodiversity Improvement / Offsetting
- Green Belt Compensatory Land
- Land for Tree Planting
- Other (please specify)

Reasons for suggested development/ land use

Shortage of Houses in UK

Likely timescale for delivery of suggested development/ land use	<input checked="" type="checkbox"/> 1-5 Years	 19 APR 2021
	<input type="checkbox"/> 6-10 Years	
	<input type="checkbox"/> 11-15 Years	
	<input type="checkbox"/> 15+ Years	

Digital Services

Site Constraints	Contamination/pollution issues (previous hazardous land uses)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Environmental issues (e.g. Tree Presentation Orders; SSSIs)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Flood Risk	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Topography affecting site (land levels, slopes, ground conditions)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Utility Services (access to mains electricity, gas, water, drainage etc.)	<input type="checkbox"/> Yes ? <input type="checkbox"/> No .
	Legal issues (For example, restrictive covenants or ownership titles affecting the site)	<input type="checkbox"/> Yes <input type="checkbox"/> No
	Access. Is the site accessible from a public highway without the need to cross land in a different ownership to the site?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (If no please provide details of how the site could be accessed. Without this information the site will not be considered to be deliverable).

	Other constraints affecting the site	<input type="checkbox"/> Yes (If yes, please specify) <input checked="" type="checkbox"/> No
Planning Status	<input type="checkbox"/> Planning Permission Granted <input type="checkbox"/> Planning Permission Refused <input type="checkbox"/> Pending Decision <input type="checkbox"/> Application Withdrawn <input type="checkbox"/> Planning Permission Lapsed <input type="checkbox"/> Pre-Application Advice <input type="checkbox"/> Planning Permission Not Sought <input checked="" type="checkbox"/> Other Please include details of the above choice below (for example planning reference numbers and site history)	
Other comments	Plot numbers 2 & 5+6 are my friends They will be 100% interested to submit land for Housing	

3100
2.529ha
6.25



19 APR 2021

DI... Services

0894
28.3ha
70

LOWER LUTON ROAD

Boundary Post

0089
575ha
1.42

PROPOSED SITE

River Lea or Lee

0073
927ha
2.29

0067
065ha
.16

0064
182ha
.45

River L

3771
235ha
58

MARQUIS LANE

RED & WIND BAY

Sewage
Outlet

Track

THE COUNCIL'S PRESENCE

[Signature]
Chief Executive



LOCATION PLAN

WORKS and TECHNICAL SERVICES DEPARTMENT
UPPER LATTIMORE ROAD, ST. ALBANS, HERTS. AL13TZ DIRECTOR: I.S. COPE



Proposed Article 4 Direction on land at

25 January to 5pm 8 March 2021
'Call for Sites 2021' Site Identification Form

Your Details	
Name	[REDACTED]
Company/Organisation	Private Freeholder Ownership
Address	11 & 13 Lower Luton Road, Harpenden
Postcode	AL5 5AF
Telephone	[REDACTED]
Email	[REDACTED]
Your interest	<input checked="" type="checkbox"/> Site Owner <input type="checkbox"/> Planning Consultant <input type="checkbox"/> Registered Social Landlord <input checked="" type="checkbox"/> Local Resident <input type="checkbox"/> Developer <input type="checkbox"/> Community <input type="checkbox"/> Other

Site Details					
Requirements: <ul style="list-style-type: none"> • Delivers 5 or more dwellings or; • Provides economic development on sites of 0.25 hectares or more (or 500 square metres of floor space or more) 					
Site address/location (Please provide a map showing the site boundary)	The combined fields of 11 & 13 Lower Luton Road, Harpenden (site map provided)				
Site area (in hectares)	0.8 hectares of 1.8 hectares				
Coordinates	<table border="1"> <tr> <td>Easting</td> <td>514893</td> <td>Northing</td> <td>214956</td> </tr> </table>	Easting	514893	Northing	214956
Easting	514893	Northing	214956		
Site Location Plan Attached	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				
GIS mapping shapefile attached (in .shp file format)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				
Landownership (please include contact details if known)	<p>Land is freehold ownership of those submitting this form.</p> <p>For the purposes of communication please use the above-noted phone number /email.</p>				
Current land use	Laid fallow with two barns and a block of 3 stables				
Condition of current use (e.g. vacant, derelict)	Available as barns used for home storage and land not used by owners				
Suggested land use	<input checked="" type="checkbox"/> Housing <input type="checkbox"/> Gypsy & Travellers <input type="checkbox"/> Mixed Use (please specify) <input type="checkbox"/> Employment <input type="checkbox"/> Renewable and low carbon energy and heat <input type="checkbox"/> Biodiversity Improvement / Offsetting <input type="checkbox"/> Green Belt Compensatory Land <input type="checkbox"/> Land for Tree Planting <input type="checkbox"/> Other (please specify)				
Reasons for suggested development / land use	Presented at 2017 Call for Sites, selected for brochure by council for comment, interviewed, told exciting opportunity by panel. HCC imposed moratorium on Green belt land use/put on hold. Now opposite Katherine Warrington School. Ideal for affordable homes.				

Likely timescale for delivery of suggested development / land use	<input checked="" type="checkbox"/> 1-5 Years <input type="checkbox"/> 6-10 Years <input type="checkbox"/> 11-15 Years <input type="checkbox"/> 15+ Years
---	--

Site Constraints	Contamination/pollution issues (previous hazardous land uses)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Environmental issues (e.g. Tree Presentation Orders; SSSIs)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Flood Risk	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Topography affecting site (land levels, slopes, ground conditions)	<input checked="" type="checkbox"/> Yes - minor <input type="checkbox"/> No
	Utility Services (access to mains electricity, gas, water, drainage etc.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Legal issues (For example, restrictive covenants or ownership titles affecting the site)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Access. Is the site accessible from a public highway without the need to cross land in a different ownership to the site?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (If no please provide details of how the site could be accessed. Without this information the site will not be considered to be deliverable).

	Other constraints affecting the site	<input checked="" type="checkbox"/> Yes (If yes, please specify) <input type="checkbox"/> No Green belt
Planning Status	<input type="checkbox"/> Planning Permission Granted <input type="checkbox"/> Planning Permission Refused <input type="checkbox"/> Pending Decision <input type="checkbox"/> Application Withdrawn <input type="checkbox"/> Planning Permission Lapsed <input type="checkbox"/> Pre-Application Advice <input checked="" type="checkbox"/> Planning Permission Not Sought <input type="checkbox"/> Other Please include details of the above choice below (for example planning reference numbers and site history) We have submitted before and would have proceeded but change in HCC policy stopped this. Have had a number of approaches for the land now the school (and its access/egress) have been completed which suggests a definite need for affordable homes. We do not want to proceed to planning until Call for Sites identifies it as potential.	
Other comments	Having been through the Call for sites process once we know this land could be valuable to the town and particularly answer HCC's commitment to bring the school to Batford for the local people of Harpenden.	



KEY

Red outline – property ownership divided between No11 and No13.

Black outline – shows approximately 0.8 hectares of the land, clear of flood plain.

APOLOGIES: It is difficult to overlay the new school as Google Maps not updated yet.

25 January to 5pm 8 March 2021
'Call for Sites 2021' Site Identification Form

St Albans City and District Council is in the process of preparing a new Local Plan 2020-2038. The 'Call for Sites' is an early opportunity for individuals, landowners and developers to suggest sites within the District for development over the next 15-20 years. The site suggestions received by us will be used to inform the preparation of the new Local Plan 2020-2038.

You are invited to put forward any new sites that you would like the Council to consider in its Housing Economic Land Availability Assessment (HELAA). These should be capable of delivering 5 or more dwellings, or economic development on sites of 0.25 hectares or more (or 500 square metres of floor space or more). The Council will take account of the Strategic Housing Land Availability Assessment (SHLAA) submissions previously received since 2009 and therefore there is no need to resubmit these unless circumstances have changed. Sites from previous SHLAAs will form part of the Council's assessment. Proposed land uses can include:

- Housing
- Gypsy & Traveller Housing
- Mixed Use
- Employment
- Renewable and low carbon energy and heat
- Biodiversity Improvement / Offsetting
- Green Belt Compensatory Land
- Land for Tree Planting
- Other

To enable sites to be mapped digitally, please provide GIS shapefiles of your site, where possible.

The consultation period runs for six weeks between Monday 25 January to 5pm on Monday 8 March 2021.

Unfortunately, we cannot treat any of the information you provide as confidential.

It is important to note that not all sites received through the 'Call for Sites' will be appropriate for consideration as part of the Housing Economic Land Availability Assessment (HELAA). As a general rule:

We encourage you to submit sites that are likely to become available for development or redevelopment between now and 2038.

Please do not submit sites that:

- Are already included as a housing allocation in the St Albans District Local Plan Review (November 1994) – i.e. sites that are listed in 'saved' Policies 4 and 5.

- Have already been submitted to the Council for consideration via previous 'Call for Sites' and Strategic Housing Land Availability Assessment (SHLAA) processes (unless information is updated/changed).
- Already have planning permission for development, unless a new and different proposal is likely in the future; or
- Are situated outside St Albans City and District's administrative area.

If you wish to update information about a site previously submitted please complete the form below.

Please return the **form and site location plan** to the Spatial Planning and Design Team. We strongly encourage digital submissions via our online portal.

By online consultation portal:


<http://stalbans-consult.limehouse.co.uk/portal/>

By e-mail to: planning.policy@stalbans.gov.uk

By post to: St Albans Council Offices, St Peters Street, St Albans, Hertfordshire, AL1 3JE

Due to COVID-19; offices being shut and officers working from home; submissions by post are discouraged.

Your Details	
Name	Jonathan Bainbridge
Company/Organisation	Bidwells LLP
Address	25 Old Burlington Street, London
Postcode	W1S 3AN
Telephone	██████████
Email	██
Your interest	<input type="checkbox"/> Site Owner <input checked="" type="checkbox"/> Planning Consultant <input type="checkbox"/> Registered Social Landlord <input type="checkbox"/> Local Resident <input type="checkbox"/> Developer <input type="checkbox"/> Community <input type="checkbox"/> Other

Site Details			
Requirements:			
<ul style="list-style-type: none"> • Delivers 5 or more dwellings or; • Provides economic development on sites of 0.25 hectares or more (or 500 square metres of floor space or more) 			
Site address/location (Please provide a map showing the site boundary)	Rothamsted Research – Harpenden Campus		
Site area (in hectares)	13.6		
Coordinates	Easting	513422	Northing 213571
Site Location Plan Attached	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
GIS mapping shapefile attached (in .shp file format)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Landownership (please include contact details if known)			
Current land use	Class E Research park, office, laboratory, academic, conference		
Condition of current use (e.g. vacant, derelict)	Active use with planned investment		
Suggested land use	<input type="checkbox"/> Housing <input type="checkbox"/> Gypsy & Travellers <input checked="" type="checkbox"/> Mixed Use (please specify) <input checked="" type="checkbox"/> Employment <input checked="" type="checkbox"/> Renewable and low carbon energy and heat <input checked="" type="checkbox"/> Biodiversity Improvement / Offsetting <input type="checkbox"/> Green Belt Compensatory Land <input type="checkbox"/> Land for Tree Planting <input type="checkbox"/> Other (please specify)		
Reasons for suggested development / land use	Designated as a major developed site within the Green Belt in saved planning policy, the site has the potential to contribute towards employment needs within the borough – this is recognised by its inclusion within an Enterprise Zone		

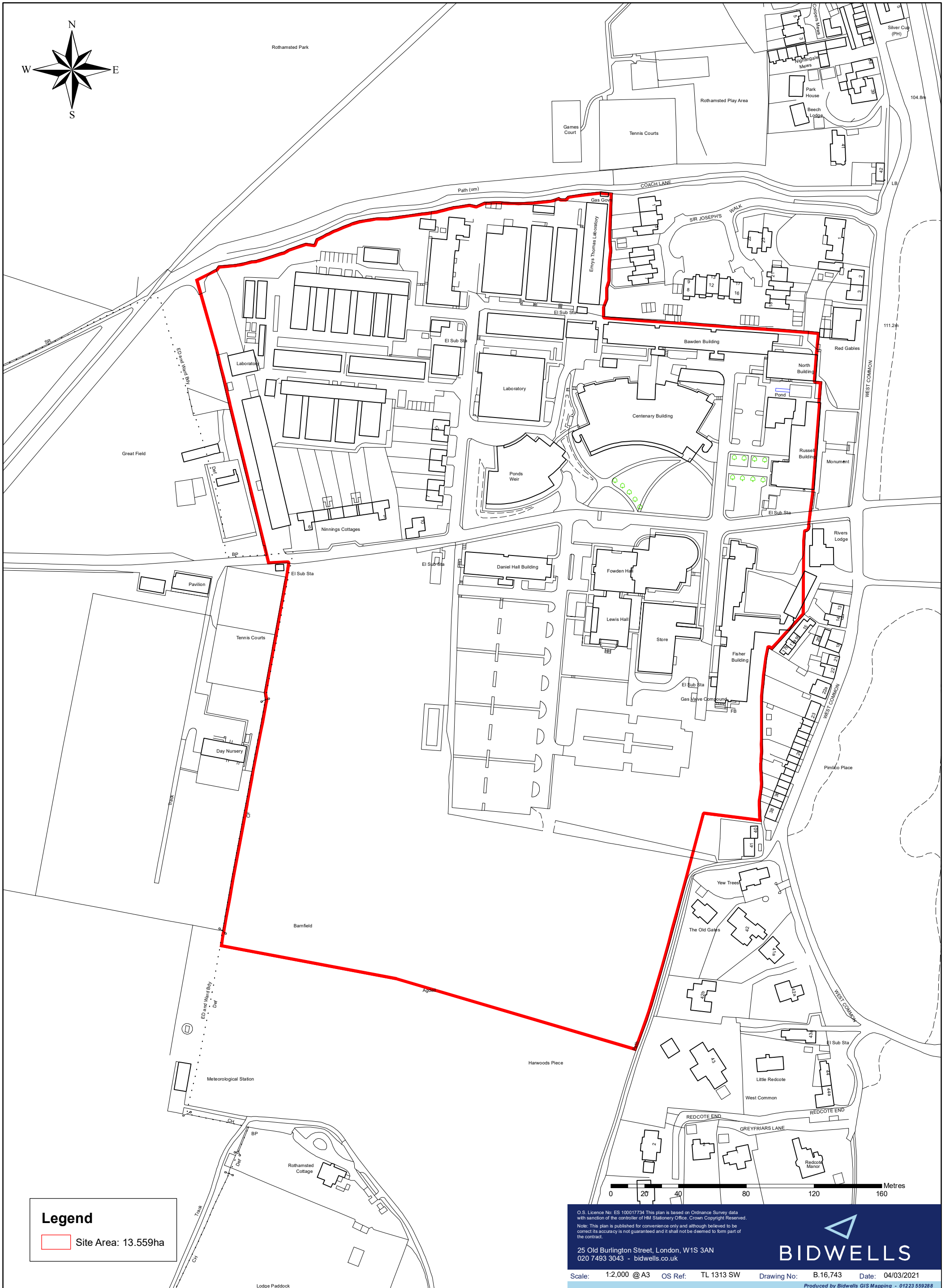
Likely timescale for delivery of suggested development / land use	<input checked="" type="checkbox"/> 1-5 Years <input checked="" type="checkbox"/> 6-10 Years <input checked="" type="checkbox"/> 11-15 Years <input checked="" type="checkbox"/> 15+ Years
---	---

Site Constraints	Contamination/pollution issues (previous hazardous land uses)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Environmental issues (e.g. Tree Preservation Orders; SSSIs)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Flood Risk	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Topography affecting site (land levels, slopes, ground conditions)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Utility Services (access to mains electricity, gas, water, drainage etc.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Legal issues (For example, restrictive covenants or ownership titles affecting the site)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Access. Is the site accessible from a public highway without the need to cross land in a different ownership to the site?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (If no please provide details of how the site could be accessed. Without this information the site will not be considered to be deliverable).

	Other constraints affecting the site	<input checked="" type="checkbox"/> Yes (If yes, please specify) <input type="checkbox"/> No Currently Green Belt, but performing poorly against Green Belt functions. Should be considered for release.
Planning Status	<input type="checkbox"/> Planning Permission Granted	

	<input type="checkbox"/> Planning Permission Refused <input type="checkbox"/> Pending Decision <input type="checkbox"/> Application Withdrawn <input type="checkbox"/> Planning Permission Lapsed <input type="checkbox"/> Pre-Application Advice <input type="checkbox"/> Planning Permission Not Sought <input checked="" type="checkbox"/> Other Please include details of the above choice below:
	Please include details of the above choice below (for example planning reference numbers and site history) <i>The Trust has historically engaged with the District Council and wishes to restart conversations moving forward.</i>
Other comments	<i>The site presents an opportunity to provide for high quality employment. As a major developed site, consideration should be given to revising green belt boundaries in accordance with national policy. The Trust and Rothamsted makes a significant contribution to UK PLC and is a world leader in agricultural research. It is considered that the future of the institution should be addressed within emerging planning policy.</i>

Rothamsted Research Centre, Harpenden



Legend

Site Area: 13.559ha

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 Note: This plan is published for convenience only and although believed to be correct its accuracy is not guaranteed and it shall not be deemed to form part of the contract.

25 Old Burlington Street, London, W1S 3AN
 020 7493 3043 - bidwells.co.uk



Scale: 1:2,000 @ A3 OS Ref: TL 1313 SW Drawing No: B.16,743 Date: 04/03/2021

Produced by Bidwells GIS Mapping - 01223 559288

Your ref:
Our ref: JB62840
DD:
E:
Date: 08/03/2021

Spatial Planning Team
St Albans City and District Council

Sent via email:

Planning Policy (SADC): Planning.Policy@stalbans.gov.uk

Dear Mr Briggs and Ms Morphet,

**LAWES AGRICULTURAL TRUST – SUBMISSION OF SITES TO YOUR CALL FOR SITES
CONSULTATION AND ONWARD PROGRAMME OF WORK.**

Thank you very much for inviting the Lawes Agricultural Trust to take part in your recent webinar in relation to work that you're undertaking relating to the creation of a new Local Plan.

You may already be aware that Bidwells is advising the Trust on its strategic vision for the future of its landholdings in the district, and we previously supported its representations to the withdrawn Local Plan during Regulation 19 and Examination stages.

The Trust is a charity that was established in 1889 by Sir John Bennet Lawes FRS, who had earlier founded Rothamsted Experimental Station in 1843. It provides the land and buildings for the agricultural research and related sciences conducted by Rothamsted Research. It therefore plays an active role in promoting collaboration and innovation with commercial agricultural technology businesses, in conjunction with Rothamsted Enterprises Limited (REL). This is recognised by its representation on the Hertfordshire Local Enterprise Zone (HertsIQ) Partnership Board.

Through its financial support, the Trust contributes towards the employment of over 400 people within the district, comparable with the largest employers in the area. It also provides accommodation for ca.200 key workers, students, and staff – enabling them to move into the area on modest scientific salaries. As a local charity and landowner, they are committed to reinvesting every penny generated in agricultural science.

Supporting this mission, the Trust wishes to submit two sites to your current call for sites. The first is in relation to land North East of Redbourn, and the second in relation to its landholdings at the Rothamsted Innovation Campus. Both submissions will support significant inward investment into the district.

North East Redbourn

You will be aware of the Trust's aspiration to provide housing at its landholdings to the North East of Redbourn. The site was noted as an 'amber' site within the withdrawn Local Plan and allocated reference 'R-551. Extending to 42.1ha in total, there is a substantial opportunity to provide a highly sustainable and well considered residential led development at the site. Indeed, during the examination process it was identified as being potentially part of the solution to the boroughs housing need, in light of Park Street Garden Village being found 'undeliverable'. In addition, we consider that there would be multiple benefits for the community of Redbourn and for the district of St. Albans.

25 Old Burlington Street, London W1S 3AN
T: 020 7493 3043 E: info@bidwells.co.uk W: bidwells.co.uk



As a charity, the Trust does not face the same pressures as commercial developers to satisfy shareholders or investors and they can be confident in committing to affordable housing, in accordance with development plan requirements. We also wish to deliver a proposal which responds to the climate emergency head on.

Finally, it is important to raise that the Trust has embarked upon a process to identify a suitable development partner that shares both its values and its aspirations for the district. The decision to ask for support has been taken by the trustees after a lot of careful thought and consideration. We consider this will add to our case that this site can come forward rapidly in light of current housing requirements and serves to enhance deliverability.

The Trust strongly believes that the development of Land North East of Redbourn can deliver the Council's Local Plan priorities, and we would very much welcome the opportunity to discuss this with you.

Rothamsted Innovation Campus.

Underpinning the Trust's vision to develop North East Redbourn is an estate strategy which seeks to provide an ambitious, long term plan for the wider estate to help advance research and innovation, support Rothamsted Research's science strategy, enable growth of agritech enterprises, and meet the research, charitable and financial objectives of the Trust and its partners.

Whilst the Harpenden campus plays a vital role in supporting world-leading agricultural science and research, there are significant pressures on the Trust to reshape the estate to support new areas of focus and cutting-edge methodologies in the short, medium and longer term. Consequently, the Trust is preparing a 2040 Innovation Campus Vision for Harpenden which will underpin development across its site and provide a strategic framework to meet the envisaged policy requirements for transformation of the Estate in an emerging development plan document.

The Vision is ambitious and can deliver significant economic and social benefits at a local, national and international level. The activities at Harpenden already contribute an estimated £3bn to the UK and international economies, and the research activity and high value creation would be sustained and enhanced through the life of the Vision.

The new innovation activities envisaged by the Trust will boost the economic activity. One scenario, for example, sees the potential to deliver an additional 2,000 jobs over the period of the Vision, and leverage significant inward investment into the campus. However, this vision is not solely for the benefit of the Trust. With a carefully considered approach, the Harpenden Innovation Campus Vision could deliver a series of further social and community benefits including:

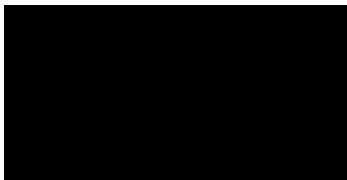
- Community use of conference facilities and estate, and access for local people to public spaces in buildings and restaurant /amenities and potentially new visitor/education facilities
- Reducing its carbon impact, promoting sustainable access and offsetting other development impact within the borough
- Improved landscaping, green spaces, pedestrian routes and access to and through the campus increasing its ecological performance and mitigating its visual impact
- Improved social and welfare facilities for campus occupiers and visitors

The Trust is at an early stage in the development of this vision and it is considered vital that it dovetails with the emerging planning policy context. For these reasons, we will seek to make further representations to the emerging policy position at the appropriate time, however it is considered that commencing engagement at this early stage is appropriate and that its contribution to future employment requirements should be given serious consideration.

We appreciate that the path towards an up-to-date local plan is not an easy one, with the Council facing pressure from central government, housebuilders, and local communities, and the Trust is keen to support the District Council in this process. Whilst the development of the revised Local Plan is at an early stage, we and the Trust would welcome the opportunity to meet with you in order to discuss how we can work together to assist you in meeting the challenges facing the district.

We look forward to working in partnership with you.

Yours sincerely,



Jonathan Bainbridge
Partner, Planning

Enclosures **Call for Sites Form & Plan, RoCRE**
 Call for Sites Form & Plan, Redbourn
 Call for Sites Vision Statement, Redbourn

Copies **Peter Oxley, Lawes Agricultural Trust**
 Nick Vose, Marengo Communications

25 January to 5pm 8 March 2021
'Call for Sites 2021' Site Identification Form

St Albans City and District Council is in the process of preparing a new Local Plan 2020-2038. The 'Call for Sites' is an early opportunity for individuals, landowners and developers to suggest sites within the District for development over the next 15-20 years. The site suggestions received by us will be used to inform the preparation of the new Local Plan 2020-2038.

You are invited to put forward any new sites that you would like the Council to consider in its Housing Economic Land Availability Assessment (HELAA). These should be capable of delivering 5 or more dwellings, or economic development on sites of 0.25 hectares or more (or 500 square metres of floor space or more). The Council will take account of the Strategic Housing Land Availability Assessment (SHLAA) submissions previously received since 2009 and therefore there is no need to resubmit these unless circumstances have changed. Sites from previous SHLAAs will form part of the Council's assessment. Proposed land uses can include:

- Housing
- Gypsy & Traveller Housing
- Mixed Use
- Employment
- Renewable and low carbon energy and heat
- Biodiversity Improvement / Offsetting
- Green Belt Compensatory Land
- Land for Tree Planting
- Other

To enable sites to be mapped digitally, please provide GIS shapefiles of your site, where possible.

The consultation period runs for six weeks between Monday 25 January to 5pm on Monday 8 March 2021.

Unfortunately, we cannot treat any of the information you provide as confidential.

It is important to note that not all sites received through the 'Call for Sites' will be appropriate for consideration as part of the Housing Economic Land Availability Assessment (HELAA). As a general rule:

We encourage you to submit sites that are likely to become available for development or redevelopment between now and 2038.

Please do not submit sites that:

- Are already included as a housing allocation in the St Albans District Local Plan Review (November 1994) – i.e. sites that are listed in 'saved' Policies 4 and 5.

- Have already been submitted to the Council for consideration via previous 'Call for Sites' and Strategic Housing Land Availability Assessment (SHLAA) processes (unless information is updated/changed).
- Already have planning permission for development, unless a new and different proposal is likely in the future; or
- Are situated outside St Albans City and District's administrative area.

If you wish to update information about a site previously submitted please complete the form below.

Please return the **form and site location plan** to the Spatial Planning and Design Team. We strongly encourage digital submissions via our online portal.

By online consultation portal:

<http://stalbans-consult.limehouse.co.uk/portal/>

By e-mail to: planning.policy@stalbans.gov.uk

By post to: St Albans Council Offices, St Peters Street, St Albans, Hertfordshire, AL1 3JE

Due to COVID-19; offices being shut and officers working from home; submissions by post are discouraged.

Your Details	
Name	Simon Andrews
Company/Organisation	DLA Town Planning Ltd
Address	5 The Gavel Centre, Porters Wood, St Albans
Postcode	AL3 6PQ
Telephone	██████████
Email	████████████████████
Your interest	<input type="checkbox"/> Site Owner <input checked="" type="checkbox"/> Planning Consultant <input type="checkbox"/> Registered Social Landlord <input type="checkbox"/> Local Resident <input type="checkbox"/> Developer <input type="checkbox"/> Community <input type="checkbox"/> Other

Site Details			
Requirements:			
<ul style="list-style-type: none"> • Delivers 5 or more dwellings or; • Provides economic development on sites of 0.25 hectares or more (or 500 square metres of floor space or more) 			
Site address/location (Please provide a map showing the site boundary)	Sauncey View Lodge, Harpenden		
Site area (in hectares)	0.6ha		
Coordinates	Easting	514983	Northing 215392
Site Location Plan Attached	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
GIS mapping shapefile attached (in .shp file format)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Landownership (please include contact details if known)	[REDACTED]		
Current land use	C3 Residential		
Condition of current use (e.g. vacant, derelict)	C3 Residential		
Suggested land use	<input checked="" type="checkbox"/> Housing <input type="checkbox"/> Gypsy & Travellers <input type="checkbox"/> Mixed Use (please specify) <input type="checkbox"/> Employment <input type="checkbox"/> Renewable and low carbon energy and heat <input type="checkbox"/> Biodiversity Improvement / Offsetting <input type="checkbox"/> Green Belt Compensatory Land <input type="checkbox"/> Land for Tree Planting <input type="checkbox"/> Other (please specify)		
Reasons for suggested development / land use	Previously Developed Land		

Likely timescale for delivery of suggested development / land use	<input checked="" type="checkbox"/> 1-5 Years <input type="checkbox"/> 6-10 Years <input type="checkbox"/> 11-15 Years <input type="checkbox"/> 15+ Years
---	--

Site Constraints	Contamination/pollution issues (previous hazardous land uses)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Environmental issues (e.g. Tree Preservation Orders; SSSIs)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Flood Risk	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Topography affecting site (land levels, slopes, ground conditions)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Utility Services (access to mains electricity, gas, water, drainage etc.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Legal issues (For example, restrictive covenants or ownership titles affecting the site)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Access. Is the site accessible from a public highway without the need to cross land in a different ownership to the site?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (If no please provide details of how the site could be accessed. Without this information the site will not be considered to be deliverable).

	Other constraints affecting the site	<input type="checkbox"/> Yes (If yes, please specify) <input checked="" type="checkbox"/> No
Planning Status	<input type="checkbox"/> Planning Permission Granted <input type="checkbox"/> Planning Permission Refused <input type="checkbox"/> Pending Decision <input type="checkbox"/> Application Withdrawn <input type="checkbox"/> Planning Permission Lapsed <input type="checkbox"/> Pre-Application Advice <input type="checkbox"/> Planning Permission Not Sought <input type="checkbox"/> Other <hr/> Please include details of the above choice below (for example planning reference numbers and site history)	
Other comments		



SAUNCEY VIEW LODGE, HARPENDEN
St Albans Call for Sites response – March 2021

Planning Report on behalf of Mr and Mrs Mitchell

DLA Ref: 16/073
March 2021

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1.0 EXECUTIVE SUMMARY

- 1.1 There is an evident and urgent need for additional housing sites within St Albans district. 8 Broad Locations were previously identified by the Council's Green Belt consultants as capable of being released without harming Green Belt purposes. The Sauncey View Lodge site falls within the North East of Harpenden Broad Location and as such is sequentially preferable to other potential development sites not within an identified Broad Location. This should be the starting point for work on a new Local Plan.
- 1.2 The Sauncey View Lodge site is ideally located on the edge of the existing urban area and is capable of being delivered as part of a strategic site North East of Harpenden or as a self-contained development site. There are no constraints preventing development and the site is in single ownership so is deliverable in the short-term. This is particularly important given the urgency of the housing need and the time needed for strategic sites to deliver on the ground.
- 1.3 The only issue preventing delivery of the site is the Green Belt designation. However, consultants commissioned by the Council to review the Green Belt identified this site as part of a wider area that contributes least to the overall function of the Green Belt

and suggested that it could be removed without affecting the purposes of the Green Belt. This particular site is relatively small and would have a negligible impact on the Green Belt.

- 1.4 The character of the surrounding area has been altered significantly through the construction of a new secondary school on land opposite the site. In addition, consent has recently been granted for the creation of four new dwellings directly opposite the site. These new dwellings, together with the new secondary school, further diminish the Green Belt role played by this site and further reduces any impact on the Green Belt of development of this site.
- 1.5 This site forms an obvious extension to the built-up area that flanks it. It would not encroach on surrounding countryside. It should be brought forward as quickly as possible, either allocated as a small-scale extension in its own right or as part of a wider strategic site allocation for the area North East of Harpenden.
- 1.6 The site should be allocated for housing and removed from the Green Belt in the next iteration of the Local Plan.

2.0 INTRODUCTION

- 2.1 This report has been produced by DLA Town Planning on behalf of the owners of Sauncey View Lodge. It is submitted in response to the “Call for sites” undertaken by St Albans City and District Council in January 2021.
- 2.2 The owners of Sauncey View Lodge have lived in Harpenden for over 22 years and share a vision for an affordable, well-located and well-designed development for different ages and demographic groups with the flexibility to integrate and maintain people throughout their lifecycle.
- 2.3 This report has been produced to aid consideration of the site through the SHLAA and Local Plan process. This report provides additional information to complement previous submissions, on his site originally provided to the Council in 2016 and updated in 2018.
- 2.4 The Council is starting work, again, on a new Local Plan. In planning for an increased level of housing, the Council should first look to those locations previously identified by the Council’s Green Belt Review that were judged to have least impact on the Green Belt purposes. These sites, previously known as Broad Locations, have not yet been delivered despite identification almost a decade ago.

One of these Broad Locations is land to the North East of Harpenden and includes the Sauncey View Lodge site.

- 2.5 This report sets out why the Sauncey View Lodge site is suitable for redevelopment for housing, either as part of the wider North East of Harpenden Broad Location or as a standalone site. An indicative layout and elevations have been produced that reflect the Council’s expectation that sites will be delivered at around 40 dwellings per hectare.
- 2.6 This site has previously been submitted to the Harpenden Neighbourhood Plan group in response to their Call for Sites. Although there was very favourable feedback on the site and the proposal, the site was not included in the “made” Harpenden Neighbourhood Plan because of the site’s Green Belt status and the Neighbourhood Plan’s inability to allocate Green Belt sites without an up-to-date Local Plan.
- 2.7 The level of detail given is sufficient for the consideration of the site through the SHLAA and the Local Plan process. However, this report does not provide a planning application level of detail and further work will be undertaken prior to any planning application.

3.0 SITE & CONTEXT ANALYSIS

Location

3.1 The Sauncey View Lodge site is located in the north east of Central Harpenden. Common Lane is situated to the east of the site and Milford Hill to the south, the site is also bound by hedgerow to the north.

Development Site

3.2 This comprises an irregular shaped parcel of land of some 0.6ha. The site is currently residential development but is underdeveloped.



Figure 1: Sauncey View Lodge site looking north-west

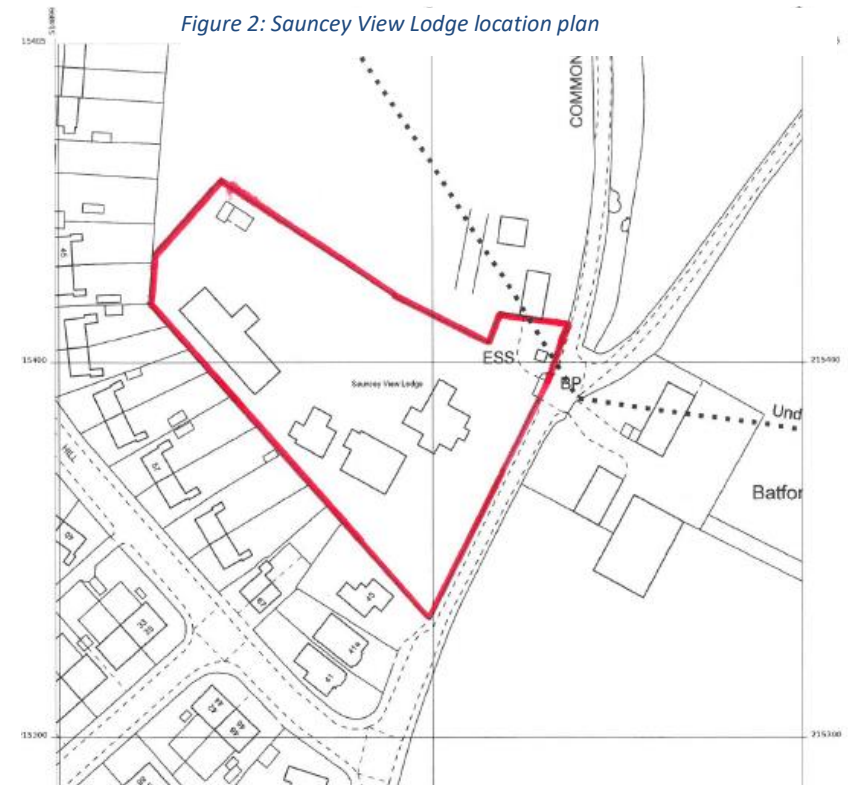


Figure 2: Sauncey View Lodge location plan

Context & Land uses

3.3 In general terms the surrounding area is characterised by residential development. To the south the Report Site adjoins existing residential development on Milford Hill. This comprises two storey semi-detached properties, in a mix of social and private tenures, arranged in a linear fashion. Further to the south and southwest are residential properties, also including Batford Memorial Hall, Old Batford Mill and a series of allotments.

3.4 To the south there is a new housing development at Leacroft, which comprises of 38 Flexi-Care Housing Flats. To the north of the Report Site is open countryside that is designated as Green Belt land, albeit Green Belt land that, according to the Council’s consultants, makes a limited contribution to the Green Belt purposes (see Figure 4 and Figure 10 below).

Element	Description
1	Open Countryside/Green belt area recommended for release from Green Belt by SKM consultants
2	Consent for four new dwellings
3	Katherine Warrington Secondary School
4	Allotments
5	Batford Memorial Hall
6	Old Batford Mill
7	New residential development at Leacroft, Common Lane
8	Sauncey Wood Primary School

Figure 3: Sauncey View Lodge context plan



3.5 The most significant change in the nature of the area in recent years has been the development of a new 6-8 form entry secondary school on Green Belt land to the south-east of the site. The 21-hectare site was acquired by Hertfordshire County Council and the school is now operational. The establishment of this school has had a significant impact on the Green Belt and introduces a major urban feature into what was previously countryside. By comparison, the small-scale adjustment to the Green Belt boundary to enable redevelopment on the report site is inconsequential.

Figure 4: Sauncey View Lodge aerial context plan



3.6 In addition, the approval of four new dwellings by way of a barn conversion directly opposite the site further compounds the urban nature of the report site. The nature of the area has changed and will continue to change and this affects the consideration of development potential at the report site.

Figure 5: Katherine Warrington Secondary school context plan



Access

- 3.7 The existing vehicular access from Common Lane is towards the north of the site.

Development Plan Notation

- 3.8 The Proposals Map for St Albans district shows the site adjoining the urban area of Harpenden/Batford. There are two particular designations covering the site – Green Belt and Landscape Conservation Area. The area to the north-east of the site is identified as a Conservation Area.

- 3.9 The nearest settlements with settlement boundaries are Harpenden (a Tier 2 Town Settlement), Wheathampstead (a Specified Settlement) and Gustard Wood (Green Belt settlement).

Local services

- 3.10 The Site is in close proximity to local facilities, as set out in the Table opposite.

Accessibility

- 3.11 The site is accessible by a variety of modes of transport other than the private motor car as set out below.

Facility	Local Provision	Proximity to site (km)
Education	Batford Nursery School	340m
	Sauncey Wood Primary School	400m
	Katherine Warington School (proposed)	10m
	Sir John Lawes	1km
Retail	ATM	600m
	Tesco Express	600m
	Harpenden Town Centre	1.9km
Health/Leisure	The Elms Medical Practice	1.5km
	Aldwickbury Park Golf Course	1.2km
	Elliswick Lawn Tennis Club	1.3km
Transport	Harpenden Railway Station	2.2km

- 3.12 The nearest bus stop is located within 50m of the site on Milford Hill. The 657 services run every 1 hour to surrounding settlements including Harpenden, Redbourn and St Albans. Another bus stop is located within 400m of the site on the Lower Luton Road. There are six services that run regularly to surrounding settlements, Hatfield, Stevenage and Welwyn Garden City.

- 3.13 Harpenden Railway Station is located some 2.2km to the south-west of this site, providing frequent services to St Albans, St Pancras International, Gatwick Airport and Brighton to the south and Luton Airport, Luton and Bedford to the north.

3.0 STRATEGIC CONTEXT

3.1 This Call for Sites opportunity marks the start of a new Local Plan process. With the withdrawal of the draft Local Plan in 2020 following the withdrawal of the Strategic Local Plan in 2017, the need for an up-to-date strategic framework for development is more urgent than ever.

3.2 The objectively assessed housing need for St Albans district is around 900 dwellings per year. This should be the starting point. However, the Council will also be aware of neighbouring authorities that are struggling to meet their own housing requirements. The Council will need to have open and constructive dialogue with these authorities if it is to satisfy the Duty to Cooperate. The potential for St Albans district to assist with meeting housing needs from surrounding areas should not be dismissed at this stage. There is considerable development potential within the district, partly stemming from the fact that Green Belt boundaries have not been properly reviewed for around 35 years. The Council should not see the 900 homes per year target as a ceiling if greater potential emerges through the Green Belt review or other evidence.

Housing need

3.3 The reliance on a Local Plan adopted in 1994 and the housing policies and land allocations therein has had a catastrophic effect on housing delivery within the district. With an annual housing target of around 900 homes per year and annual housing completions since 2001 running at 376 homes per year, a whole generation of young people have been largely unable to access the housing market. Recent performance can be judged by the latest Housing Delivery Test results for St Albans District (published in February 2021), which indicated a HDT measurement of only 63% for the period 2017/18 to 2019/20 – the 33rd worst of the 298 local authorities in England.

3.4 While housing completions have, to a degree, been propped up by recent changes to permitted development rights, these have not had an impact on the delivery of affordable housing. The target of 200 affordable homes per year from the 1994 Local Plan has not been met. Since 1994, 1,826 affordable homes have been delivered, against a target of 5,200 – only 34% of the target and a shortfall of 3,374 affordable homes. In 2019/20, only 31 affordable homes were completed – just 7% of total completions.

3.5 The delivery of a new Local Plan with updated housing targets, new housing allocations and new Green Belt releases is of the utmost importance for the district.

The portfolio of housing sites

- 3.6 To meet housing need will require the delivery of a mixed portfolio of housing sites. A range of sizes, types and locations will be needed to enable a wide range of housebuilding organisations to contribute to meeting needs, including arrangements for self-build properties.
- 3.7 The previous focus only on strategic sites of 500 dwellings or more must change. As highlighted by the Inspectors examining the now-withdrawn draft Local Plan, and as recognised by the Council's Planning Portfolio holder, small and medium-sized sites within the Green Belt must be seriously considered.

Green Belt considerations

- 3.8 As part of work on previous Local Plans, the Council commissioned consultants, SKM, to undertake a strategic review of the Green Belt in 2013 and examine areas that contribute least towards Green Belt purposes. The report site was included within Site 6, known as North East of Harpenden, shown in Figure 10.
- 3.6 Site 6 was a strategic site that was found to contribute least to the Green Belt purposes and it was concluded that at the strategic level, a reduction in the size of the parcel would not significantly compromise the overall role of the Green Belt or compromise the separation of settlements. Also, when assessed

in isolation the sub-area makes a limited or no contribution towards checking sprawl, preventing merging, preserving setting and maintaining local gaps.

- 3.7 As part of the new Local Plan, the Council has commissioned a new Green Belt Review and will need to revisit the 2013 conclusions. However, given the changes that have taken place around the report site since 2013 – specifically the new secondary school and the approval of four dwellings directly opposite the site – it would be surprising if the new consultants came to a different view on the Green Belt contribution of the report site.

4.0 PLANNING HISTORY

Site

4.1 The table below shows the relevant planning history for this site.

LPA Reference	Proposal	Decision
5/2010/0323	Single Storey Side, Two Storey Rear, First Floor Side And Rear, First Floor Front And Front Porch Extensions And Alterations To Openings (additional vehicle access approved)	Approved
5/2007/1780	Amendment: Demolition Of Existing And Erection Of Replacement Dwelling With Basement	Refused
5/2007/0713	Demolition Of Existing And Erection Of Replacement Dwelling With Basement	Withdrawn
5/2007/0712	Demolition Of Existing And Erection Of Replacement Dwelling	Approved
5/2006/2758	Resubmission: Demolition Of Existing Dwelling And Erection Of Detached Dwelling	Refused
5/2006/2156	Demolition Of Existing Dwelling And Erection Of Detached Dwelling	Withdrawn

5.0 PREVIOUS COUNCIL ASSESSMENTS

Strategic Housing Land Availability Assessment (SHLAA)

5.1 This site has been submitted through previous Call for Sites invitations and was assessed by the Council in the 2016 SHLAA.

5.2 The 2016 SHLAA update concludes that the site is potentially suitable in principle for residential development. We support the SHLAA's conclusions in respect of this site.

5.3 The 2016 SHLAA also references the 2013 SKM Green Belt Review which states that *“at the strategic level, a reduction in the size of the parcel would not significantly compromise the overall role of the Green Belt or compromise the separation of settlements. Assessed in isolation the sub-area makes a limited or no contribution towards checking sprawl, preventing merging, preserving setting and maintaining local gaps.”*

Draft Local Plan 2019

5.4 The report site was previously proposed for allocation as part of the North East Harpenden Broad Location in the now withdrawn Local Plan submitted for Examination in 2019.

6.0 SITE CONSTRAINTS

6.1 The Council's Call for Sites 2021 pro forma seeks information on any constraints affecting potential sites. While the constraints applying to this site are discussed throughout this report, the information is summarised here in the same format as requested on the pro forma, for ease of reference.

6.2 Contamination/Pollution

No suspected issues of contamination or pollution that would preclude development.

6.3 Environmental issues

No significant environmental constraints other than the site is located within the Green Belt.

6.4 Flood risk

Site not subject to flood risk from either rivers or surface water.

6.5 Topography

The site is essentially flat.

6.6 Utility services

It is likely that utilities are available in Common Lane to which a connection could easily be made.

6.7 Legal issues

The site is in single ownership and could be brought forward for development quickly. There are no 'ransom strips' present.

6.8 Highways & Access

To demonstrate that the Sauncey View Lodge site is deliverable as a housing allocation, Milestone Transport Planning has been appointed to assess the site in highway and accessibility terms. Their report is attached as appendix A to this report.

6.9 In summary, the Milestone report concludes that the site is well connected to a wide range of local amenities including local schools, shops and recreational facilities. The site has good connections to pedestrian and cycle infrastructure and bus and rail services are accessible.

6.10 Access is proposed from Common Lane, wholly delivered within publicly maintainable land (see Figure 6 below). Appropriate sight lines can be achieved and provision for parking, turning and servicing will be made within the site.

6.11 The existing footway alongside Common Lane stops at the southern boundary of the report site. Development provides the opportunity to extend the footway alongside this site and,

potentially, to extend beyond the site serving development previously proposed by the Council at the North East Harpenden Broad Location.

6.12 The Milestone report concludes that the development-related traffic impact at the proposed site access and formalised carriageway narrowing on Common Lane would operate well within capacity with minimal queues and delays, even accounting for the full impact of traffic associated with the Katherine Warrington School and the potential release of further residential land north of the subject site.

6.13 From a highways and transport perspective, the site is suitable for a development of up to 40 dwellings.

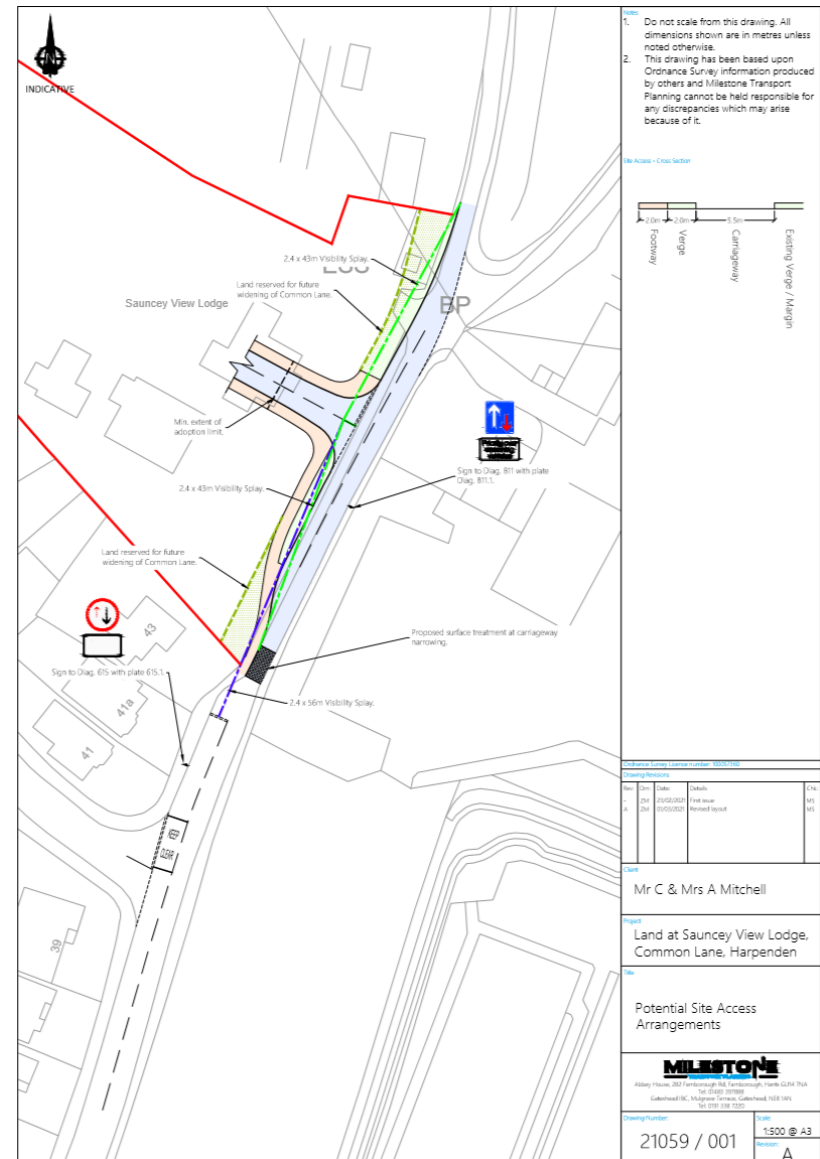


Figure 6 – proposed site access arrangements

7.0 OUTLINE OF PROPOSAL

- 7.1 The site is currently used for residential purposes but is suitable to be redeveloped at a higher density to make better use of previously developed land. The established boundaries to the site limit any intrusion into the countryside and define clearly the extent of the site.
- 7.2 In response to the type of homes sought by the Neighbourhood Plan group, the proposed layout illustrates a total of 28 units of a mix of two- and three-bedroom properties (a density of around 47dph). This more closely reflects the Council's expectation that strategic sites should deliver at a density of around 40dph. The layout remains indicative and can be refined following detailed discussions with the Council. The height of the buildings is currently proposed at 2.5 storeys but could be increased to 3 storeys to increase the site's capacity by two dwellings.
- 7.3 Affordable housing will be provided on site, in a range of types and tenures. The mix of affordable housing complements the existing social housing in adjacent development. The landowner has contacted both Hightown and Paradigm Housing Associations and both would be willing to work on this development. Both housing associations have expressed a preference for the affordable housing to be in blocks and comprise of relatively small affordable units.
- 7.4 The indicative layout set out in Figure 7 below reflects the density and pattern of surrounding development. It represents a logical extension to the urban area and a sensible response to the need to provide more land for housing.
- 7.5 The indicative layout at Figure 7 predates the Milestone technical report and will therefore need to be updated in light of the new access arrangements. However, Milestone's proposals are broadly similar to the access proposals shown at Figure 7 and therefore only minor changes will be needed.
- 7.6 The site could be developed immediately. It is possible to deliver the site with the prerequisite amount of affordable housing. The development will take approx. 18 months to complete.
- 7.7 This site is capable of being brought forward as a self-contained, independent development site aside from any consideration of wider development. The site benefits from its own access to the public highway (see below). The conclusions reached by SKM in terms of the impact on the Green Belt would apply equally to this site in isolation. A new Green Belt boundary could be drawn around the outside of this site, using existing landscape features

(see Figure 11 below). There are no constraints that would prevent development and the site enjoys good access to local facilities, particularly schools. As such, it is not reliant on development of the surrounding land.

- 7.8 However, this site is part of the wider area of land identified by SKM as contributing least to Green Belt purposes and could be developed in a form consistent with proposals for the adjoining land. The owners of Sauncey View Lodge have had initial discussions with the promoters of the wider site to ensure the plans for the two areas are as consistent as possible and further discussions are planned.



Figure 7: Proposed Site Layout



Typical Street Scene Elevation

Figure 8: Proposed Indicative Elevations

REV	DESCRIPTION	DATE
-	Draft Issue	28.07.2016

STATUS: PRELIMINARY



Client: M & M (Market)
 Project: Local CP (Council) Local Planning (LLP) (201)
 Title: Typical Street Scene Elevation - Preliminary
 Project No: 210-025
 Drawing No: 01
 Scale: 1:500 @ A3
 Dwg No: A16-025-SK04
 Date: 28/07/2016

CMIA
 CMJ ARCHITECTURE LTD
 11 WARDEN VARD - WARDEN PARK,
 STRATFORD ROAD - MELTON KENTON, WARRICKHAMPTON
 WARRICKHAMPTON, WILTSHIRE, WILTSHIRE, WILTSHIRE
 ARCHITECTS | INTERIOR DESIGN | CONSTRUCTION SERVICES
 PROJECT MANAGEMENT | CONSTRUCTION MANAGEMENT

Schedule of Accommodation - Land off Common Lane, Harpenden A16-025-SK03

Unit Name	Area (m ²)	Area (ft ²)	Bedrooms	Unit Type	Allocated Parking
001	86	926	2B	flat - 2.5 storey	65
002	86	926	2B	flat - 2.5 storey	
003	86	926	2B	flat - 2.5 storey	
004	86	926	2B	flat - 2.5 storey	
005	129	1389	2B	flat - 2.5 storey	
006	86	926	2B	flat - 2.5 storey	
007	86	926	2B	flat - 2.5 storey	
008	86	926	2B	flat - 2.5 storey	
009	86	926	2B	flat - 2.5 storey	
010	129	1389	2B	flat - 2.5 storey	
011	120	1292	3B	2.5 storey house	
012	120	1292	3B	2.5 storey house	
013	120	1292	3B	2.5 storey house	
014	120	1292	3B	2.5 storey house	
015	120	1292	3B	2.5 storey house	
016	120	1292	3B	2.5 storey house	
017	95	1023	3B	2 storey house	
018	95	1023	3B	2 storey house	
019	95	1023	3B	2 storey house	
020	95	1023	3B	2 storey house	
021	95	1023	3B	2 storey house	
022	95	1023	3B	2 storey house	
023	95	1023	3B	2 storey house	
024	95	1023	3B	2 storey house	
025	95	1023	3B	2 storey house	
026	95	1023	3B	2 storey house	
027	95	1023	3B	2 storey house	
028	95	1023	3B	2 storey house	
	559	6,017			65

Summary	Allocated Req	Visitor Req	Allocated Parking	Visitor Parking	Units
2B House	1	1	10	10	10
3B House	2	0.5	36	9	18
4B House	3	0.5	0	0	0
5B House	3	0.5	0	0	0
Units			46	19	28

Additional visitors parking spaces provided				0
Amenity				
Parking		Required	Provided	
		65	65	

Figure 9: Proposed Accommodation Schedule

8.0 GREEN BELT CONSIDERATIONS

8.1 The Council commissioned consultants, SKM, to undertake a strategic review of the Green Belt and examine areas that contribute least towards Green Belt purposes. The report site is included within Site 6, known as North East of Harpenden, shown in Figure 10.



Figure 10: Land North East of Harpenden (Green Belt Review - Sites and Boundaries Study, February 2014, SKM)

8.2 Site 6 was a strategic site that was found to contribute least to the Green Belt purposes, and it was concluded that at the strategic level, a reduction in the size of the parcel would not significantly compromise the overall role of the Green Belt or compromise the separation of settlements. Also, when assessed in isolation the sub-area makes a limited or no contribution towards checking sprawl, preventing merging, preserving setting and maintaining local gaps.

8.3 The completion of Katherine Warrington School has resulted in a significant impact on the Green Belt by introducing a major urban feature into existing countryside. By comparison, the small-scale adjustment to the Green Belt boundary to enable redevelopment on the report site is inconsequential. Even the wider site promoted by the Council's consultants is not dissimilar in size to the proposed secondary school.